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Job reference: 2016 enquiry 51
Address: 40, Springwood Avenue, Huddersfield
Date: 30-10-2016
Extra notes: **design and access statement**
2 storey storey rear extension with internal refurbishments



Aerial view of existing showing the frontage

Introduction

The design and access statement is prepared in accordance with the CABE headings.

The proposals

Jade3 have been appointed by our client Mr Iqar Hussain to advise on a full household planning application for a 2 storey rear extension with some internal refurbishments at no 40 Springwood Avenue, Huddersfield.

Our client's has a large family and their elderly parents also live with them. Although it's a big house, there is still inadequate accommodation for them. The proposed extension where the kitchen has been enlarged will make it easier to cook with larger dining area to serve. The existing ground floor toilet conversion to a wetroom is necessary to cater for future use of wheelchair(if required). The first floor bedroom 4 is small and the extension will create a larger bedroom with ensuite facility to serve the family use.

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aerial view of rear

The existing host building is a semi-detached dwelling. Under the revised permitted development the rear single storey extension for a semi-detached can be extended up to 6m long subject to neighbours consultations. However, since it's a 2 storey extension, then it would be a full household application.



Location plan

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Site and area assessment

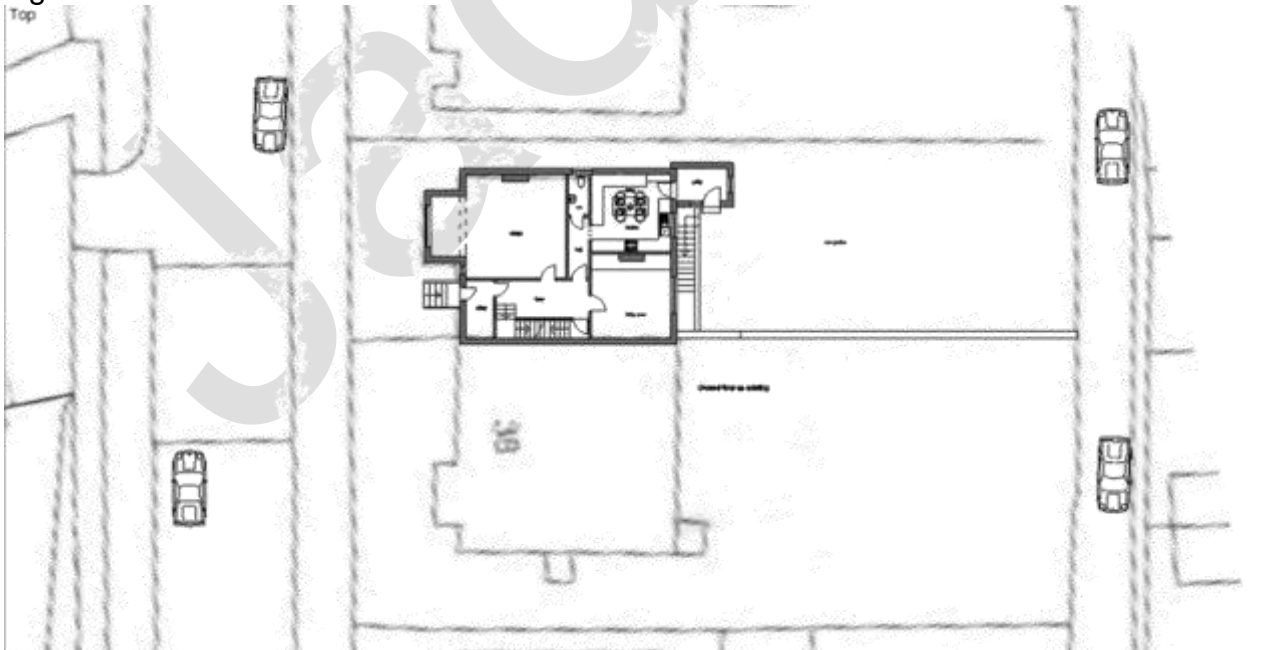
Physical, social and economic characteristics

- Number 40, Springwood Avenue is situated on a main road frontage, it is a semi-detached plot.
- The property has 4 large bedrooms and 3 small bedrooms.
- The house is built in natural stone with upvc and slates roof in a hipped configuration with very tall chimneys
- They liked the area very much and due to the harsh economic climate, it is better to extend their existing property rather than purchasing another elsewhere.

A site assessment of the surrounding areas and neighbouring properties has been carried out and observations listed below. The area has a mixture of 2 storey massing with mainly stone walls. Gabled end pitched roof with slates. The host semi-detached property is the only building with hipped roof configuration. There are a few rear extensions along the rear. Simple architecture but varied aesthetics styles.

Evaluation

The proposed extension(s) will not have an adverse visual impact on the surrounding area. More likely the extension will enhance and liven up the area and assist in regeneration as well.



Ground floor plan as existing

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Rear view of existing with very tall chimney

Amount

The existing site area is approximately 341 sq.m (circa 0.084 acres) gross

The proposed internal floor areas of the area are as follows

| | |
|-----------------------------|--------------------------------|
| Ground floor area | 28.0 sq.m gross approx. |
| First floor | 28.0 sq.m gross approx. |
| Total new floor area | 56.0 sq.m gross approx. |

Scale

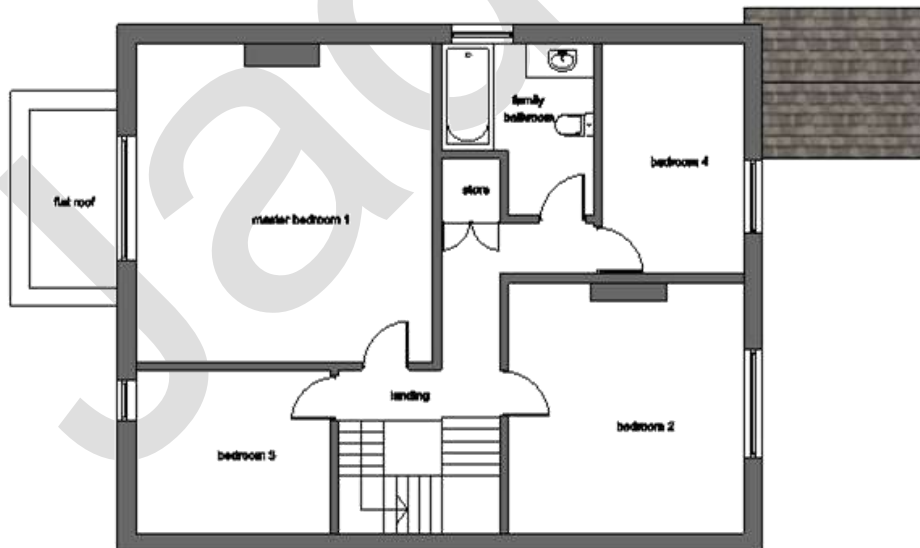
The scale of the 2 storey rear extension is to match the existing house.

- The existing small single storey utility is to be removed.
- The existing host building has high ceiling
- Since the host property is in hipped roof, the intension is to replicate a hipped roof to the new extension as well
- The new first floor will match with the existing first floor level, since its only a 2 storey extension, the first floor ceiling can be reduced to respect massing
- The very tall chimney has a slight structural instability and is proposed to lower it to prevent potential future accidents due to high winds

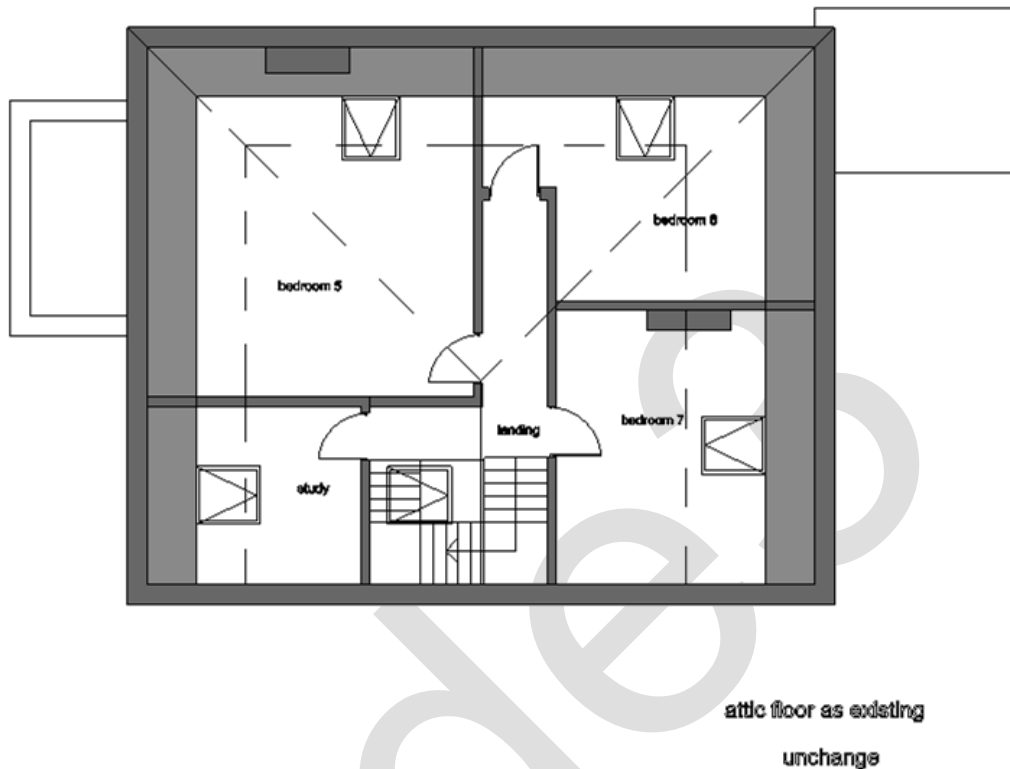
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Existing awkward looking extensions at rear



first floor as existing



Layout

- The rear trifold doors provide access into the rear garden.
- The extension is at a considerable distance away from the rear neighbours and therefore respect privacy issues
- The wetroom is strategically located to reuse the existing services and drainage which are situated at the side of the house.
- The ensuite is located above to connect to existing services and drainage as well
- The new extension will allow the layout to achieve a larger kitchen (cater for future wheelchair accessible)
- Larger dining area
- The hipped roof configuration will assist to reduce the massing visually.
- The architectural aesthetic of the rear extensions follow and complements that of the existing host building and the surroundings.
- The style and colour of the proposed glazing on all façades are to reflect the style of existing.

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- Locally sourced building materials will be specified wherever possible with local tradesmen and builders so that the construction approach is green and sustainable.



Immediate neighbour extension with mono-pitched roof

Architecture

The architecture around the area is varied in styles and palette of materials. However, the new extension is to incorporate all materials to match holistically with the host building.

Access

- The overall rear garden site is relatively flat.
- The access is via new steps at the rear entrance. The front entrance has not been affected.
- On entering the property via the front or rear entrances. Once inside the property, access to the upper floor bedrooms is via the existing staircase.
- The existing steps to the basement has also been modified so that new steps are created to suit.

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- All the steps and ramp are to be designed to suit DDA requirements and to Part M of the building Control requirements.



Opposite the site at the rear neighbours are at a considerable distance apart

Planning policies

BE1

ALL DEVELOPMENT SHOULD BE OF GOOD QUALITY DESIGN SUCH THAT IT CONTRIBUTES TO A BUILT ENVIRONMENT WHICH:

- i CREATES OR RETAINS A SENSE OF LOCAL IDENTITY;
- ii IS VISUALLY ATTRACTIVE;
- iii PROMOTES SAFETY, INCLUDING CRIME PREVENTION AND REDUCTION OF HAZARDS TO HIGHWAY USERS;
- iv PROMOTES A HEALTHY ENVIRONMENT, INCLUDING SPACE AND LANDSCAPING ABOUT BUILDINGS AND AVOIDANCE OF EXPOSURE TO EXCESSIVE NOISE OR POLLUTION;
- v IS ENERGY EFFICIENT IN TERMS OF BUILDING DESIGN AND

ORIENTATION AND CONDUCIVE TO ENERGY EFFICIENT MODES OF TRAVEL, IN PARTICULAR WALKING, CYCLING AND USE OF PUBLIC TRANSPORT.

The extensions are of good quality design and retains a sense of local identity and meets with policy BE1.

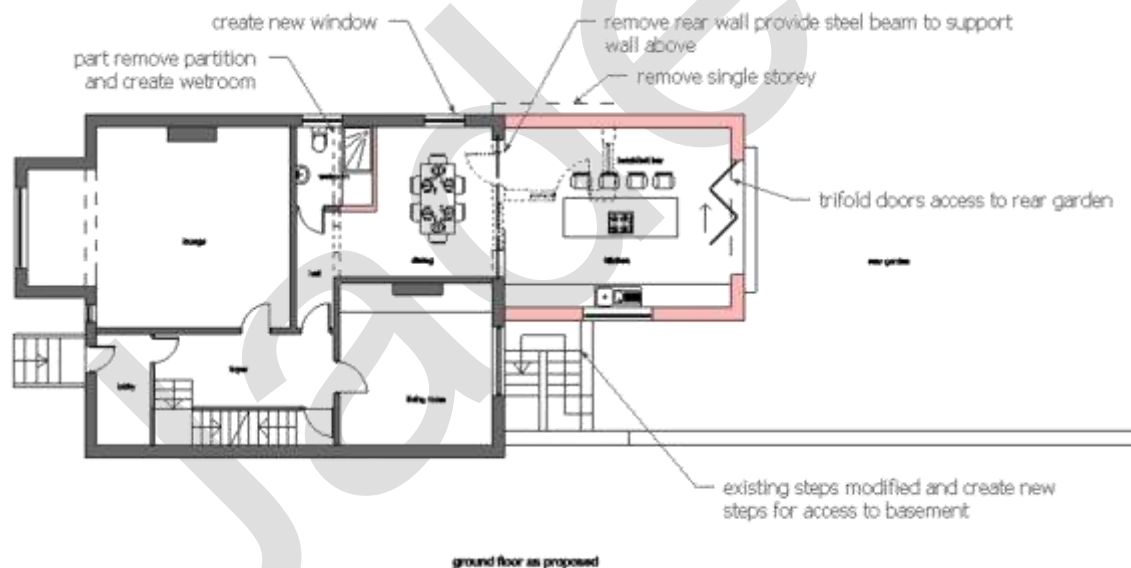
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BE2

NEW DEVELOPMENT SHOULD BE DESIGNED SO THAT:

- i IT IS IN KEEPING WITH ANY SURROUNDING DEVELOPMENT IN RESPECT OF DESIGN, MATERIALS, SCALE, DENSITY, LAYOUT, BUILDING HEIGHT OR MASS;
- ii THE TOPOGRAPHY OF THE SITE (PARTICULARLY CHANGES IN LEVEL) IS TAKEN INTO ACCOUNT;
- iii SATISFACTORY ACCESS TO EXISTING HIGHWAYS CAN BE ACHIEVED; AND
- iv EXISTING AND PROPOSED LANDSCAPE FEATURES (INCLUDING TREES) ARE INCORPORATED AS AN INTEGRAL PART OF THE PROPOSAL.

There are some rear 2 storey extensions already in existence. The extensions are of good quality design and retains a sense of local identity and in keeping with the locality with regards to scale, massing, height, building materials. The extension also follow a rear building line and meets with policy BE2.



BE11

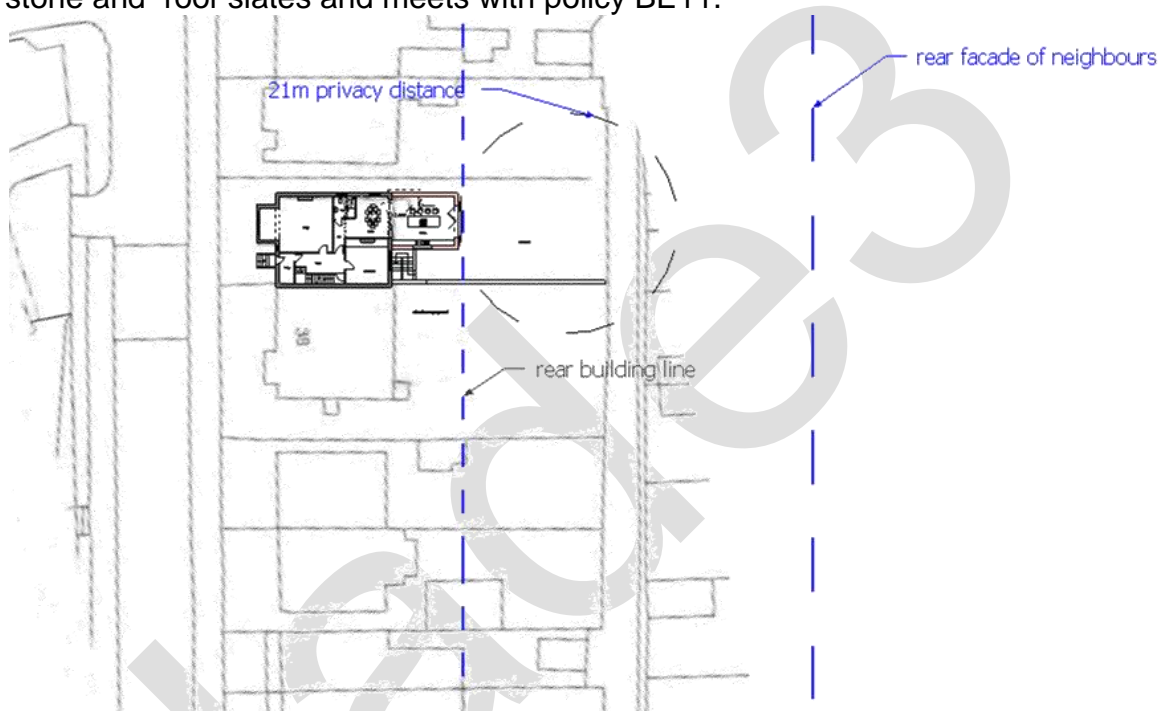
NEW DEVELOPMENT SHOULD BE CONSTRUCTED IN NATURAL STONE OF A SIMILAR COLOUR AND TEXTURE TO THAT PREVAILING IN THE AREA WHERE THE PROPOSAL IS LOCATED:

- i IN AREAS WITHIN WHICH STONE HAS BEEN THE PREDOMINANT MATERIAL OF CONSTRUCTION;
- ii WITHIN CONSERVATION AREAS; AND

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iii WITHIN TOWN AND LOCAL CENTRES.
OUTSIDE SUCH AREAS, PROPOSED MATERIALS OF CONSTRUCTION SHOULD REFLECT THE PREDOMINANT MATERIALS ADJACENT TO AND SURROUNDING THE SITE, PROVIDED THAT SUCH MATERIALS ARE NOT DETRIMENTAL TO VISUAL AMENITY.

The extensions are of good quality design and retains a sense of local identity and to be constructed in materials predominantly to match with the locality such as natural stone and roof slates and meets with policy BE11.



BE12

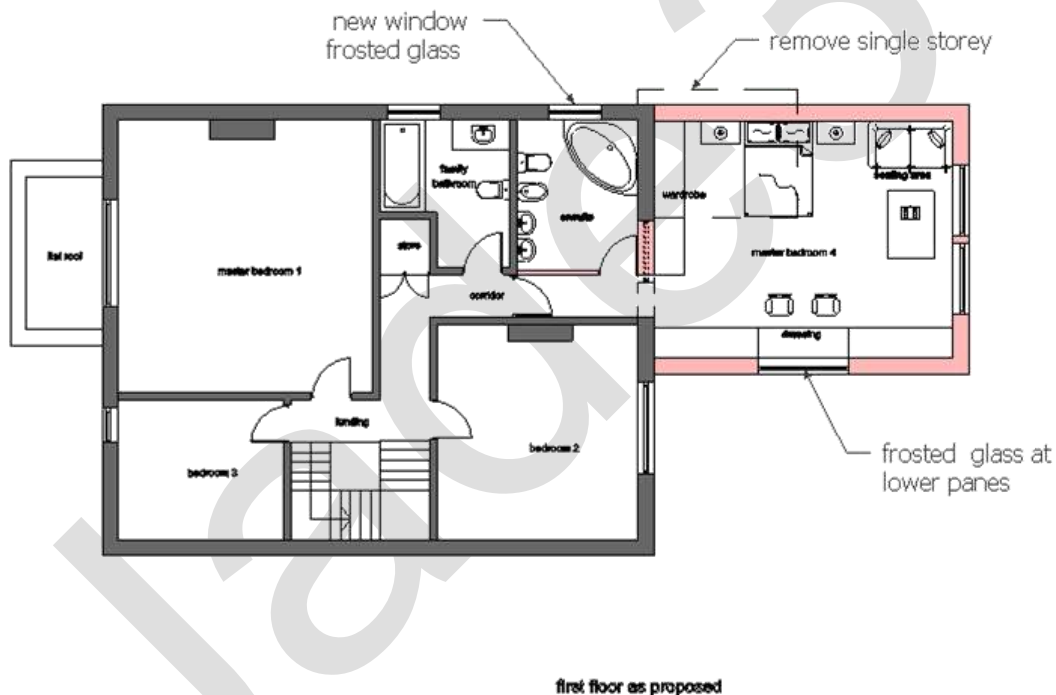
NEW DWELLINGS SHOULD BE DESIGNED TO PROVIDE PRIVACY AND OPEN SPACE FOR THEIR OCCUPANTS, AND PHYSICAL SEPARATION FROM ADJACENT PROPERTY AND LAND. THE MINIMUM ACCEPTABLE DISTANCES WILL NORMALLY BE:

- i 21.0M BETWEEN A HABITABLE ROOM WINDOW OF A DWELLING AND A HABITABLE ROOM WINDOW OF A FACING DWELLING;
- ii 12.0M BETWEEN A HABITABLE ROOM WINDOW OF A DWELLING AND A BLANK WALL OR A WALL CONTAINING THE WINDOW OF A NON HABITABLE ROOM;
- iii 10.5M BETWEEN A HABITABLE ROOM WINDOW OF A DWELLING AND THE BOUNDARY OF ANY ADJACENT UNDEVELOPED LAND; AND

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iv 1.5M BETWEEN ANY WALL OF A NEW DWELLING AND THE BOUNDARY OF ANY ADJACENT LAND (OTHER THAN A HIGHWAY). DISTANCES LESS THAN THESE WILL BE ACCEPTABLE IF IT CAN BE SHOWN THAT, BY REASON OF PERMANENT SCREENING, CHANGES IN LEVEL, OR INNOVATIVE DESIGN, NO DETRIMENT WOULD BE CAUSED TO EXISTING OR FUTURE OCCUPIERS OF THE DWELLINGS OR ANY ADJACENT PREMISES OR POTENTIAL DEVELOPMENT LAND WHICH MAY BE AFFECTED.

The extensions are of good quality design and respects the privacy distances of the opposite rear neighbours and meets with policy BE12.



BE13

EXTENSIONS TO DWELLINGS SHOULD RESPECT THE DESIGN FEATURES OF THE EXISTING HOUSE AND ADJACENT BUILDINGS, INCLUDING:

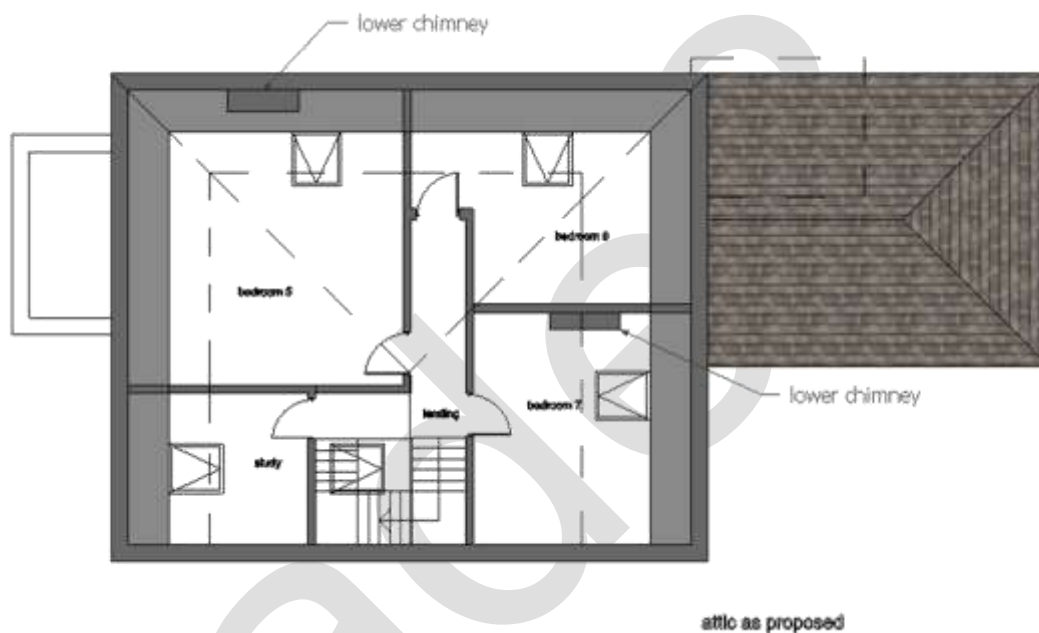
- i MATERIALS OF CONSTRUCTION;
- ii WINDOW OPENINGS;
- iii ROOF STYLES; AND
- iv ARCHITECTURAL DETAILING.

EXTENSIONS TO DWELLINGS IN CONSERVATION AREAS, OR DWELLINGS WHICH ARE LISTED AS BEING OF ARCHITECTURAL OR HISTORIC INTEREST

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SHOULD, WHERE THE PROPOSALS ALREADY COMPLY WITH POLICY BE3 OR BE5, BE DESIGNED SO THAT THE INTRINSIC VALUE OF THE HOST BUILDING AND ITS SURROUNDINGS IS RETAINED AND THE ORIGINAL BUILDING REMAINS THE DOMINANT ELEMENT.

The extensions are of good quality design and respect the design features of the host building. Stone cills, stone mullions and eaves dentils have been included and meets with policy BE13.



D2

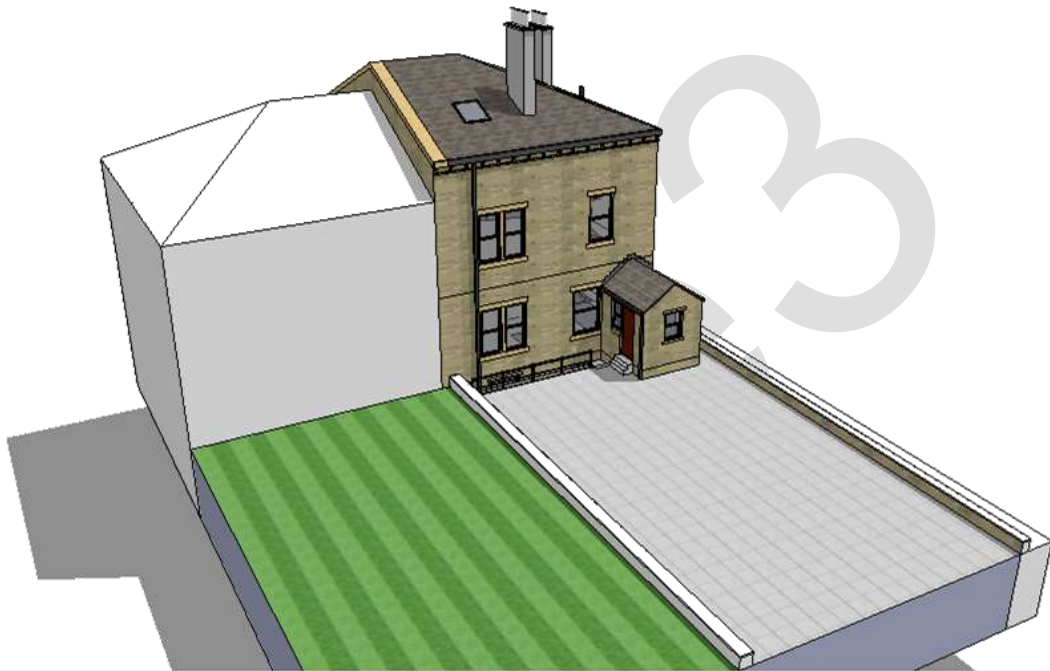
PLANNING PERMISSION FOR THE DEVELOPMENT (INCLUDING CHANGE OF USE) OF LAND AND BUILDINGS WITHOUT NOTATION ON THE PROPOSALS MAP, AND NOT SUBJECT TO SPECIFIC POLICIES IN THE PLAN, WILL BE GRANTED PROVIDED THAT PROPOSALS DO NOT PREJUDICE:

- i THE IMPLEMENTATION OF PROPOSALS IN THE PLAN;
- ii THE AVOIDANCE OF OVER-DEVELOPMENT;
- iii THE CONSERVATION OF ENERGY;
- iv HIGHWAY SAFETY;
- v RESIDENTIAL AMENITY;
- vi VISUAL AMENITY;
- vii THE CHARACTER OF THE SURROUNDINGS;
- viii WILDLIFE INTERESTS; AND
- ix THE EFFICIENT OPERATION OF EXISTING AND PLANNED

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INFRASTRUCTURE.

The extensions are of good quality design and is not over developed as it still retained a lot of rear garden left as amenity spaces for residents to enjoy. The property already had installed photovoltaics solar panels to harness green energy approach and therefore meets with policy D2.



Rear view of existing

EP10

IN CONSIDERING PLANNING APPLICATIONS, ACCOUNT WILL BE TAKEN OF THE EXTENT TO WHICH MEASURES HAVE BEEN INCORPORATED TO:

- i MAXIMISE OPPORTUNITIES FOR SOLAR HEATING; AND
- ii MINIMISE EXPOSURE, TO WIND CHILL.

As you can see, the proposals attempt to promote sustainable green energy with the use of photovoltaics solar panels, therefore meets with policy EP10.

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T10

NEW DEVELOPMENT WILL NOT NORMALLY BE PERMITTED IF IT WILL CREATE OR MATERIALLY ADD TO HIGHWAY SAFETY OR ENVIRONMENTAL PROBLEMS OR, IN THE CASE OF DEVELOPMENT WHICH WILL ATTRACT OR GENERATE A SIGNIFICANT NUMBER OF JOURNEYS, IF IT CANNOT BE SERVED ADEQUATELY BY THE EXISTING HIGHWAY NETWORK AND BY PUBLIC TRANSPORT. PROPOSALS WILL BE EXPECTED TO INCORPORATE APPROPRIATE HIGHWAY INFRASTRUCTURE DESIGNED TO MEET RELEVANT SAFETY STANDARDS AND TO COMPLEMENT THE APPEARANCE OF THE DEVELOPMENT.

The extensions are of good quality design and does not affect the highways. Existing car parking already parked on Springwood Avenue for permit holders only. However, there are adequate rear driveway and rear garden to park 1-2 family car(s) if needed and meets with policy BE11.



Rear view of proposal

National Planning Policies Framework

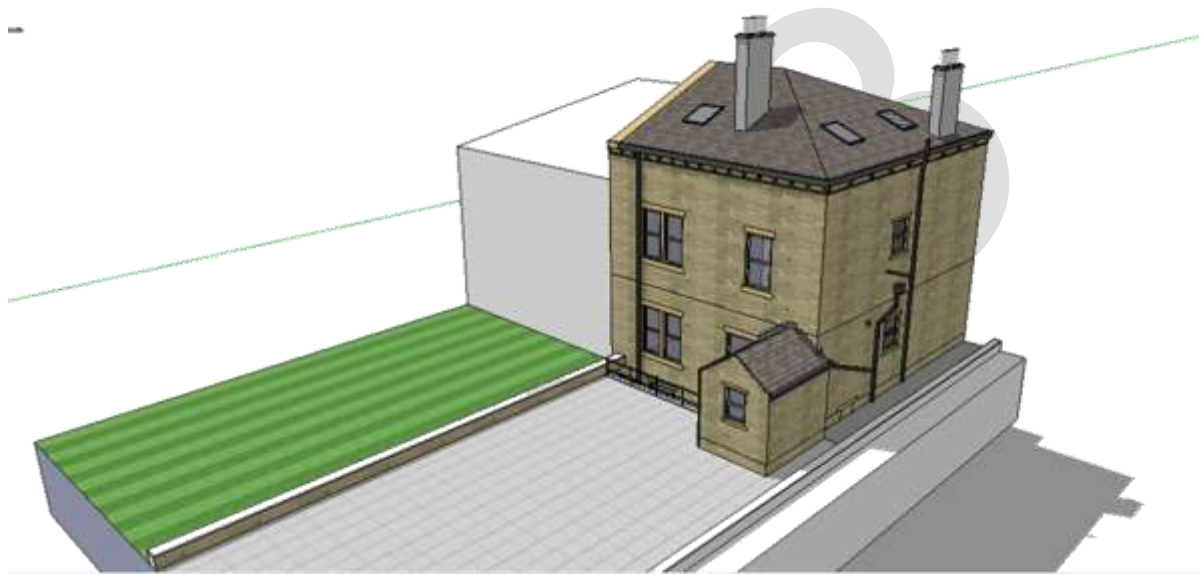
Section 1, (delivering sustainable development) and **Section 7**(requiring good design).

The extensions are of good quality design and meets with policy NPPF section 1 and 7.

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Summary

The 2 storey rear extension will tidy up the area but most importantly provides a new accommodation space for **our** client's family. The proposals included a new modified bigger kitchen and dining area to meet their needs. A ground floor wet room facility. The trifold doors are full height so that it harness natural daylight and provides direct access the rear garden. It is envisage that timber fence are to be erected to provide security and also privacy screen to the adjacent neighbours.



Aerial view of existing

The rear extension is sensitively designed to holistically match with the host building and surrounding neighbour's buildings and blends in visually within the houses surrounding the host property. The extensions do not construe as being over development nor over bearing. The extension will also provide short term employment during the construction stages.

As listed planning policies above, the extension has complied with the following planning policies

- BE1
- BE2
- BE11
- BE12
- BE13
- D2

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- EP10
- T10 and
- NPPF section 1 and section 7

Therefore, our clients seek Kirklees Metropolitan Borough Council's support and look forward to a positive planning consent so that this 2 storey rear extension completes as a **HOME**. Our clients who is keen to progress the building construction works as soon as possible.



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for and on behalf of Jade3 Architecture Limited