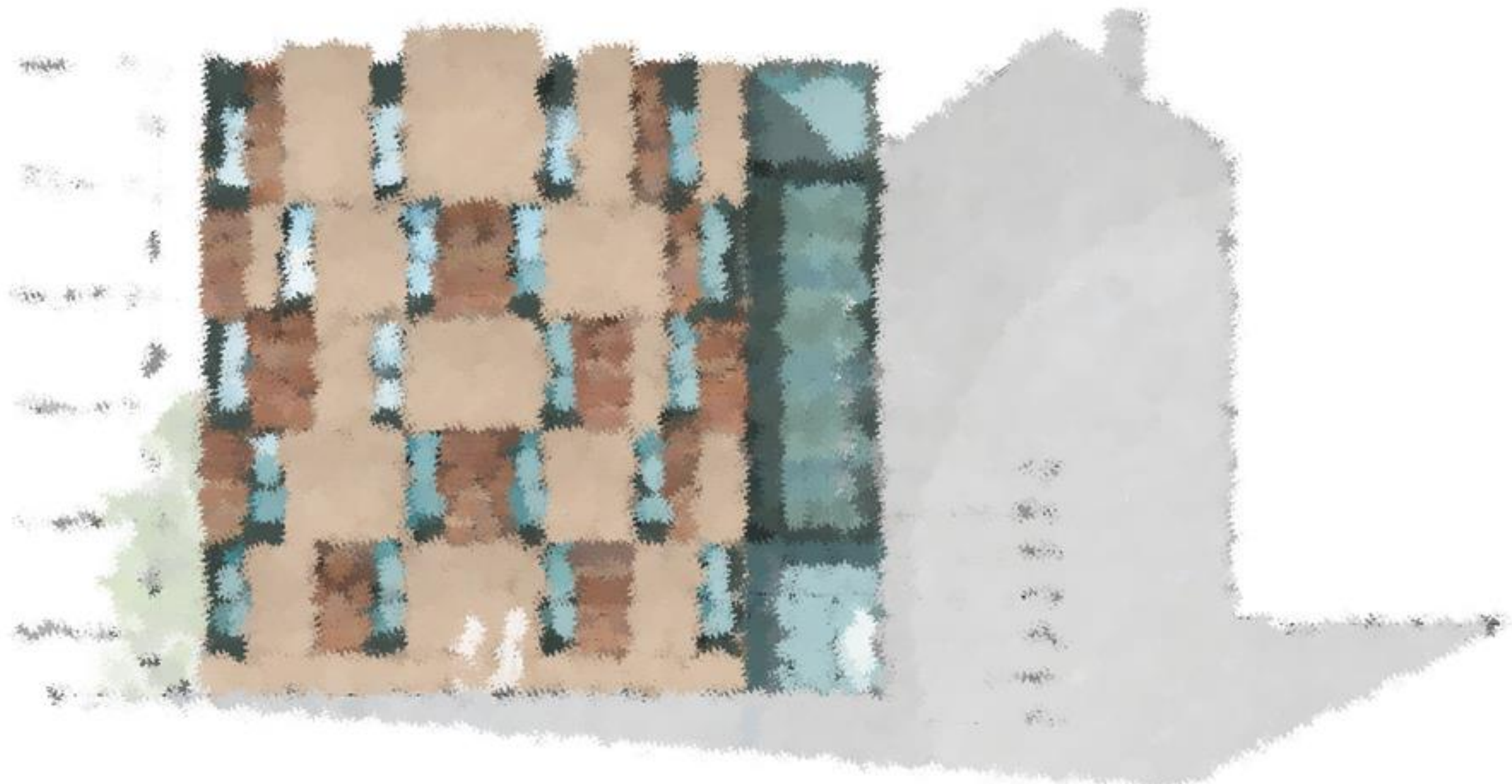


Erection of New Five Storey Student Accommodation
Broomfield House, Firth St Huddersfield HD1 3DA

DESIGN and ACCESS STATEMENT

August 2016



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Executive Summary

This Design and Access Statement has been prepared by Yeme Architects, on behalf of their client, Priestroyd Construction Ltd. This is in support of the full planning application for the creation of a new student accommodation facility within the grounds of the existing Broomfield House on Firth Street, Huddersfield. This is not a Listed Building nor is the site located within a Conservation Area.

The site already has outline planning consent for a very similar proposal in the same location. The proposal seeks to improve the approved scheme and is for 40 studio flats. The building is independent of the adjoining Broomfield House. This proposal is due to be complete and ready for occupation in September 2017 which makes the design and construction program extremely tight.

This Design Statement, which has been prepared in accordance with guidelines issued by the Design Council and the former Commission for Architecture and the Built Environment (CABE), highlights the design principles behind the scheme and the process undertaken to develop and refine the proposals.

The context of the site has been carefully considered, and this has identified the constraints and opportunities this presents. The proposal is a consolidated response to this analysis. The site is not visible from Firth St as well as being largely screen from other surrounding streets

This includes an evaluation of the existing context and a description and justification for the proposed scheme. The document is also looking to consider planning matters relevant to the proposed development, including details of how the scheme accords with planning policy.

Yeme Architects were commissioned by their client due to our experience in student accommodation and expertise of working within historic environments. We are currently undertaking the conversion and extension of the Standard House building in the heart of Huddersfield town centre, to form student accommodation as well as The New Wharf Pub proposal on Firth St.

The statement describes the design principles and access strategy for the redevelopment proposals of this site and is submitted as supporting material to accompany the full planning application.

The document should be read in conjunction with the following:

- Application drawings
- Supporting visual material including 3D images
- Environmental Noise Impact Assessment
- Flood Risk Assessment
- Phase 1 Ground Contamination Report
- Phase 2 Environmental Report
- Air Quality Assessment



Fig 1: Existing site including rear elevation of Broomfield House



The proposals are the culmination of extensive development work and the design principles have been developed in light of the approved scheme, together with Planning Officer discussions. Following that we understand that the planning authority are supportive of this proposal being put forward. The image below indicates the initial design concept and the evolution of the design can be seen with the later developments.

The site was previously granted outline planning consent for a development of new student accommodation blocks and commercial units (App Ref :2015/60/90914/W). Phase I of this proposal was for the erection of a 5 storey student accommodation block comprising 35no studio apartments and Phase II was for 3no retail units with a further 24 studio flats above. This proposal is for Phase I.

This new proposal reflects the principles of the previous planning approved scheme in scale, massing and positioning terms, but with the addition of a glazed link between the existing Broomfield House and the new block. This is stepped back from the front and rear elevations in order to improve the articulation.

Significantly, the proposal seeks to create a focal point of interest within what is otherwise a disparate and benign courtyard setting. As a high quality development, it is imperative that it is seen as contemporary intervention that unifies the various architectural elements that front onto the courtyard setting. The materials have been very carefully selected and will be subject to further discussion with the Local Authority Planning Officers.



Fig 2: Initial concept model showing the courtyard and elevation



1. Background

1.1 Site Context

The subject site is located south of the city centre and is in very close proximity to the University of Huddersfield campus. There are a number of student accommodation buildings in the area. The site is on the corner of Firth Street and Wakefield Road.

The site occupies a sheltered, obscure courtyard position close the University Campus which itself has been undergoing considerable expansion and development with many dynamic new buildings. The site position and relationship with nearby landmarks can be seen on the adjacent images.

The application site is ideal for a high quality development as proposed. Currently the site is an inarticulated vacant yard and is detrimental to the visual amenity of residents facing it. Adjacent to the site, there is a 3 storey, pitched roof, accommodation building and a varied range of buildings are housed along Firth St. This adds to the mix of uses including retail premises, hotels, offices, student accommodation, cultural buildings and a transport interchange within the neighbouring area.

Also located on Firth Street are two other student accommodation buildings, Aspley House and Little Aspley House which are on the same road as the University of Huddersfield's 3M Buckley Innovation Centre (BIC), and Business School and a relatively recent 653 bed student accommodation scheme, The Castings, is located near-by, along the River Colne, which is 6 storeys high.

In terms of connectivity, the site is within a highly accessible location - 5 minutes walking distance to the University and Town Centre, and 15 minutes to the Train station.



Fig 3: University of Huddersfield Shorehead Building (under construction)



Fig 4: University of Huddersfield Creative Arts Building



Fig 5: Aspley House Student Accommodation



Fig 6: Little Aspley House Student Accommodation



Fig 7: The Castings Student Accommodation

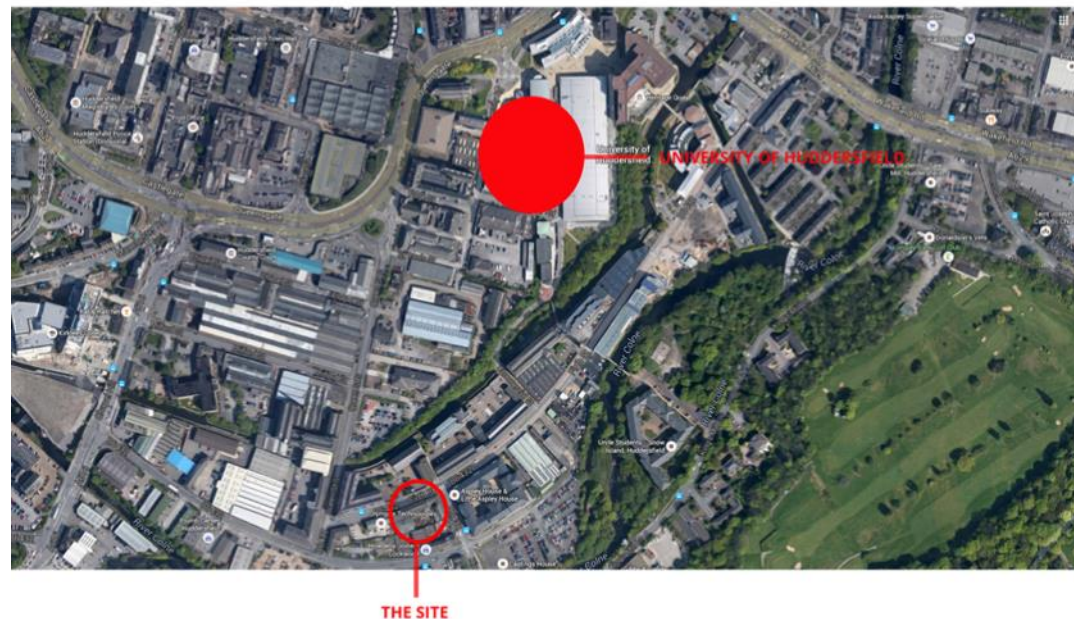


Fig 8: Site context and position to University Buildings



Fig 9: Principal Views towards the site



1.2 Social Context

The scheme aims to provide an exemplar student accommodation facility with a robust, supportive management structure in place. This is aimed at the quality overseas students as well as local students who have high expectations and appreciate the additional facilities of the communal garden area. Having a secure gated courtyard amenity facility is a rare feature within larger student accommodation buildings. Given the general shift to one bedroom/ studio living, students can feel somewhat isolated so the communal external space offers greater opportunities for interaction.

It should be noted that many high income overseas students are actually residing in high quality student accommodation facilities in Leeds and then commute into Huddersfield. Clearly a facility that retains more students within the city will have significant economic benefit to Huddersfield generally.

Purpose-built student accommodation takes students out of houses in multiple occupation or anonymous regimented student flats and enables them to live in a highly supported, engaging environment that enhances their student experience. This is also a social benefit as it can help to reduce possible tensions between students and members of the public, living in close proximity. It is also important to highlight that students can typically occupy low cost housing which is often needed by other members of the community.

1.3 Economic Context

The proposed site and its immediate surrounding offer a major regeneration opportunity with potential to support City Centre activities and the further growth of the Learning Quarter. Student population in the development will also generate significant spending power, which will be of benefit to local businesses and the town centre in general.



2. Planning History

2.1 Design Analysis of Previous Schemes

The site currently has outline planning consent for a student accommodation scheme set out in two blocks. Phase I was for 35 studio flats arranged in a five storey building with an off-centre 'slot' entrance to serve the building.

Whilst this is a workable basic design which uses some traditional materials, there are a number of factors that are impacting design and commercial viability of the project. The main issue relates to the benign nature of the design in that it neither reflects the adjacent Broomfield House in terms of fenestration, scale, massing and form nor is it contemporary enough to create a dynamic juxtaposition to it. Furthermore, the surrounding buildings are of such a varied and disparate nature the approved proposal simply reinforces the lack of design legibility within the courtyard.

The fact that it appears isolated from Broomfield House is an additional factor in reducing the legibility as it appears to be yet another building in the courtyard rather than being connected to the host building as an 'extension'.

With regards to viability, it is now known that the proposed building will require deep piled foundations due to the brownfield nature of the ground and the former buildings that were present. This is a significant additional cost and has implications for the commercial viability of the project.



It is also now felt that the quality of the accommodation is not sufficiently high quality to achieve the rents that are necessary or indeed ensure full occupancy. The studio flats are just 21m² and are poorly arranged. In addition the Juliet balconies consume a significant amount of space when the French doors are opened. It can be seen this is not a practical arrangement.

One of the other most significant factors is that the entrance and circulation stairs occupy a significant amount of space. In addition, the fact that the entrance is defined by a slot glazed panel serves to divide the elevation and makes the overall composition more disparate, especially when seen in context of the other new building adjacent.



Fig 10: Previous Planning Consent for Student Accommodation Scheme

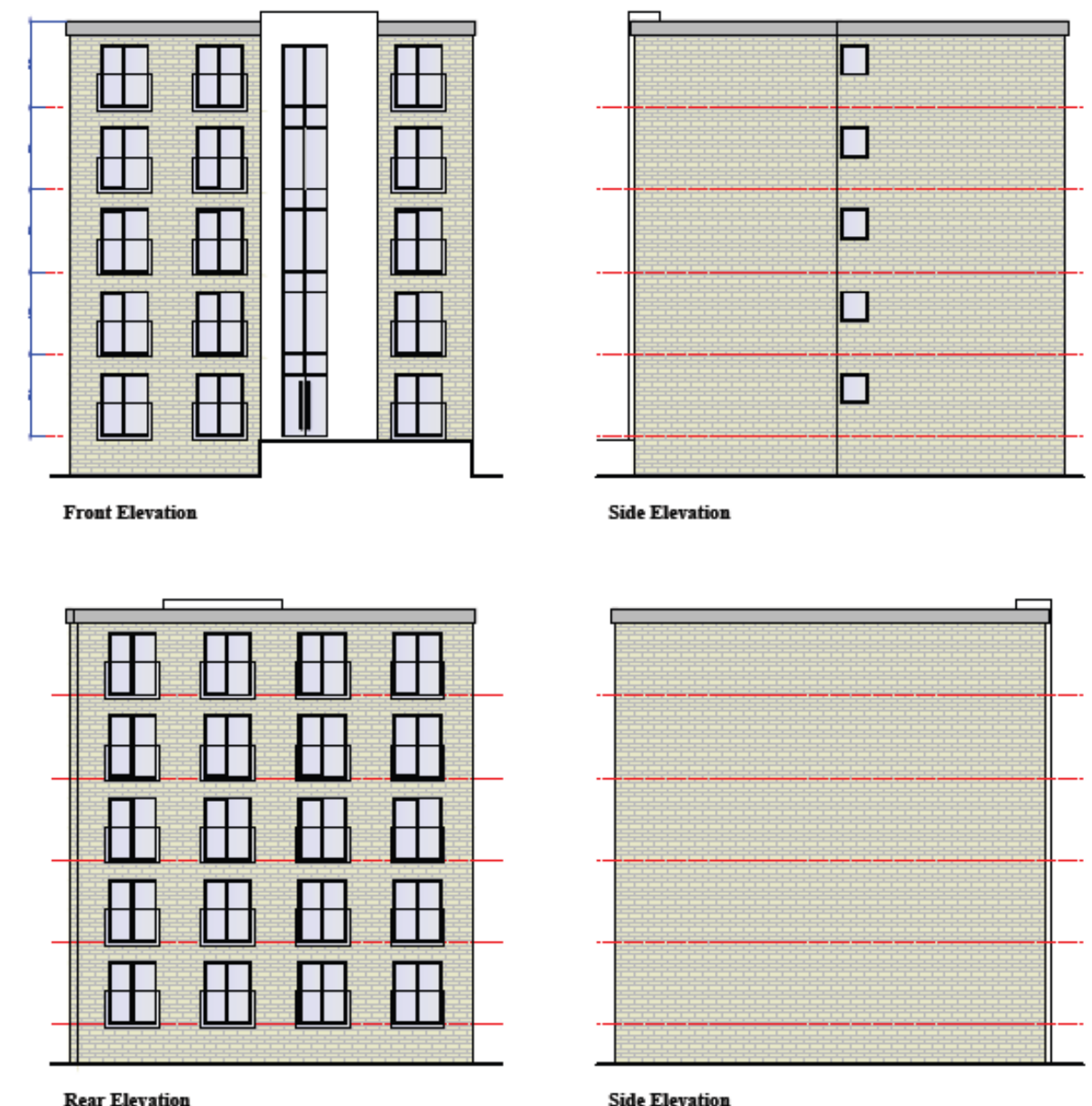


Fig 12: Approved elevations



Research and advice received from Huddersfield's leading student lettings agencies have indicated that demand is for good quality, secure accommodation close to the University. It can be seen in other cities, especially Leeds and Manchester, that high quality schemes that are distinctively designed have the most demand. There are now a range of exclusive facilities with one marketed as '7-star' and is highly in demand.

Given the proximity of the Broomfield House site to Huddersfield University, it lends itself to this market, targeting overseas as well as discerning local students. However the approved plans do not currently allow for this due to a number of reasons.

The main layout issue relates to the arrangement of the studios. These are around 21m² and appear to be narrow long single rooms. Whilst they are showing double beds, the fact that they need to be arranged against a wall means they appear less sumptuous and luxurious.

Another requirement of such a facility is the sense of support and security that on-site management brings. Whilst this is present at Broomfield House, the fact that the building has an independent entrance and appears to be an entirely separate building means it doesn't feel like there is any relationship with the existing building.

The position of the main entrance and stairs has led to the creation of linear corridors which in turn means the ratio of circulation space to habitable space is excessive. In addition it means that the stairs, wide landing and inappropriately positioned lift exacerbate the issue. Crucially this impacts the commercial viability.

In order to deliver such a development the revenue must be sustainable for bank funding purposes as well as long term success. The net amount of floor space created is inadequate to sustain the necessary level of investment. Compounding this issue, the nature of the construction makes the approved design prohibitively expensive.

From an aesthetic and architectural perspective, the design has significant impact on the neighbouring buildings as well as the courtyard. The 3D massing model shows the likely relationship when viewed from different angles.

The courtyard offers one of the most distinctive features of almost any student accommodation building in Huddersfield. This small 'oasis' is located within a densely built area and can serve as a tranquil 'interior' space that will not only be more aesthetically pleasing for the surrounding neighbours but also serves to encourage student interaction thereby improving their whole experience of life in Huddersfield.

It can be seen from the adjacent precedent images, that using distinctive materials and arranging the windows in a less regimented fashion offers a contrast to the surrounding buildings. This immediately demarks the quality and nature of the development and is representative of the aspirations of the developers.



Fig 13: The Iconic 7* Student Accommodation in Leeds

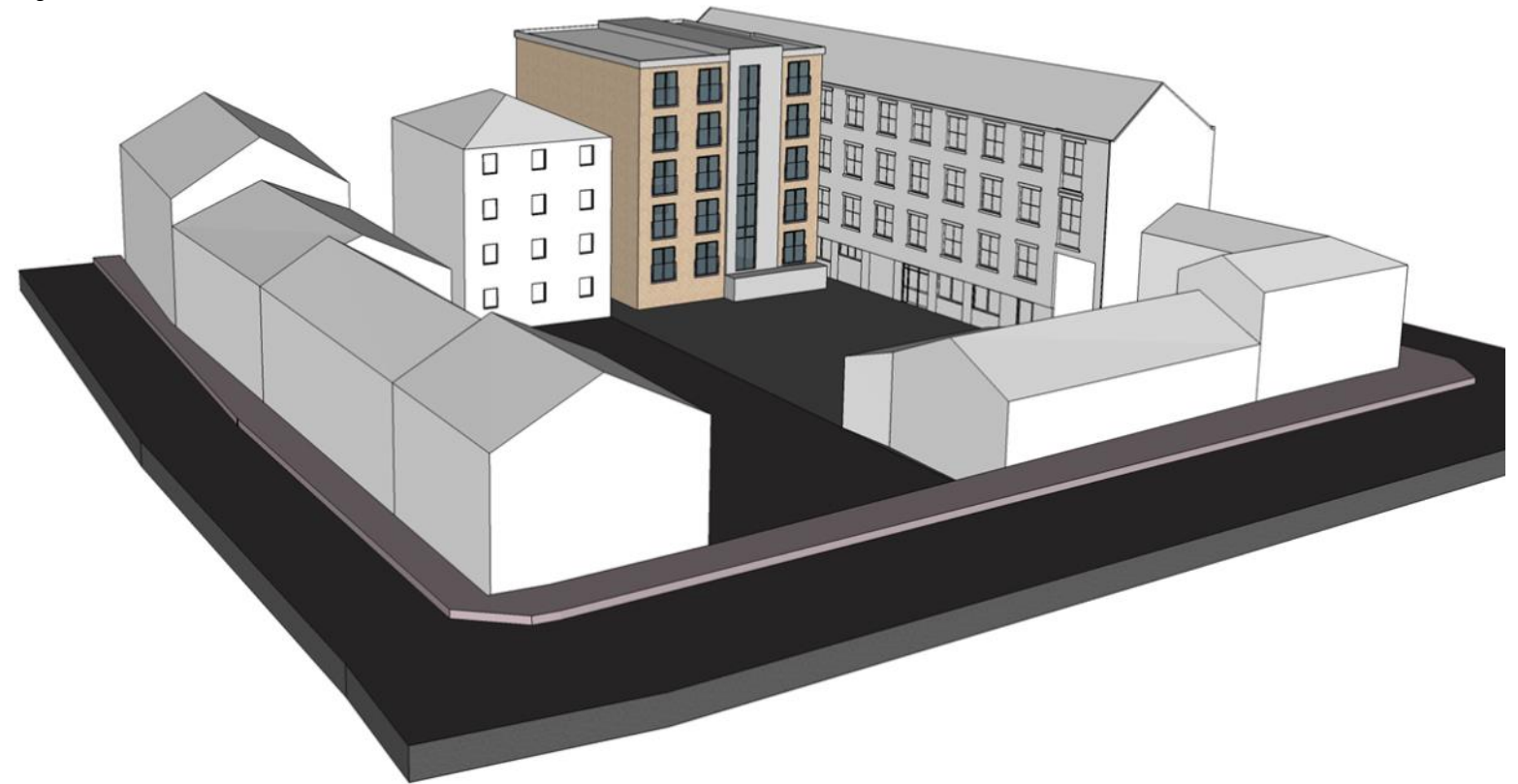


Fig 14: Approved proposal



Fig 15: Precedent images of irregular façade and distinctive use of materials and fenestration rhythm



3. Planning Policy and Consideration

3.1 Principles of Development

The National Planning Policy Framework (NPPF) was formally released March 2012. It provides a new national framework different to the previous Planning Policy Statements and Planning Policy Guidance Notes, which sets out the Government's planning policies for England and how these are expected to be applied. There is a presumption in favour of sustainable development and economic growth, whilst balancing and protecting the needs and priorities of communities without adversely impacting on future generations.

Planning authorities should give 'due weight' to relevant policies in their existing plans according to their degree of conformity with the NPPF. At present the NPPF holds greater weight than both the Kirklees Unitary Development Plan and emerging Local Plan (Withdrawn)

Three key themes running through the NPPF include:

- Planning for prosperity (an economic role) – ensuring that sufficient land of the right type and in the right places is available to allow growth and innovation;
- Planning for people (a social role) – promotion of strong, vibrant and healthy communities, meeting the needs of present and future generations, and by creating a good quality built environment with accessible local services;
- Planning for places (an environmental role) – protecting and enhancing the natural, built and historic environment.

The development proposal conforms to each of these roles and supports the application. It is considered that there is a demand for new student accommodation in sustainable locations that are close to centres of learning and higher education. This site complies with those requirements as well as bringing a significant site into economic and beneficial use as advised under Section 12 of the current Policy Framework.

The proposal is considered acceptable having regard to all material planning considerations including national planning policy and guidance, and policies and proposals of the Development Plan set out below:

Kirklees Unitary Development Plan:

- BE1 – Design principles
- BE2 – Quality of design
- EP6 – development and Noise

National Planning Policy Framework

NPPF Part 7 Requiring Good Design

NPPF Part 12 Conserving and enhancing the historic environment

NPPF Part 8 Promoting Healthy Communities



National Planning Policy Framework



Fig 16: Key guidance document used in the design process



The application proposes a development comprising of purpose built, high-quality, managed student accommodation. The use will be provided on a site which has been identified as land which is suitable for regeneration (Policy TC12 of the UDP) and on a site which has previously had the benefit of outline planning permission for student accommodation (Application Ref :2015/60/90914/W). The report for this permission confirmed that the principle of student accommodation development on this site was acceptable, that the area is considered to be an established location for student accommodation, that buildings of five storeys are acceptable at the application site, that the loss of employment uses from the site is acceptable and that the development continued the regeneration of the local area, which had been an aspiration of the Council for a number of years.

The outline permission granted consent for 59 studio flats at the site comprising of a mixture of cluster style and studio apartments. Phase I is for 35 flats and phase II is for 24 studio flats and 3 no retail shops. It is considered that whilst that scheme can be implemented as approved, it will fail to deliver the highest standard of development which in turn then reduces the impact of phase II.

The proposed development creates an active and permanent use at the site, which is currently derelict and falling into disrepair. If left undeveloped, the site could become a place for crime to occur, as there is very little requirement for the existing occupants of Broomfield House to go into the rear except to dispose of household rubbish.

Due to the grant of permission for development on the site, in principle, the proposed residential use at the site (in the form of student accommodation) is considered acceptable and the planning report confirms that the site is located within an established location for purpose built student accommodation.

The location of the site within the town centre and within close proximity to the University aligns with the development principles of Policy T1, which seeks to locate development that supports the expansion of the University and Technical College in the surrounding area (i.e. areas adjacent to the main campus/town centre). Additionally, Policy CS1 of the emerging Core Strategy seeks to locate major developments associated with higher education in the town centre, to meet economic and housing needs. The site is located less than five minutes walk from the University's main campus and within easy access to the town centre. The site is therefore ideally located for the uses which are proposed, given the close proximity to the University's campus and the easy access to the town centre, within which the majority of shops, services and public transport interchanges can be found, if these are not available within the University's campus.

Furthermore, the nearby location of student residential accommodation developments at Firth Street, Colne Road, Kings Mill Lane, Manchester Road and Commercial Street further establishes the principle for the proposed use at the application site.



Policy B4 relates to proposals involving the change of use of premises and sites which have previously been used for business and industry. At the outset it is important to highlight that the Council has already considered that the loss of employment uses at the site is acceptable by virtue of the grant of the aforementioned planning permission for residential uses. The application was considered in light of the policies contained in the Kirklees Unitary Development Plan, under which this current application is also considered.

Policy B4 of the Unitary development Plan (UDP) ‘...to ensure that business activity and consequently employment levels are sustained and that the stock of business premises is maintained at a level commensurate with likely demand’. With phase II of the proposal there are likely to be several jobs created.

The number of jobs likely to be created by the proposal of the student accommodation is one full time and three part time jobs.

There will be no adverse effect on any buildings of architectural or historic interest, namely the existing Broomfield House which is not Listed or located in a Conservation Area. The proposal is considered to respect the setting. It is intended that a new, carefully designed and detailed, occupied building will be a vast improvement over what currently occupies the site.

Policy TC1 of the UDP and Policy CS1 of the emerging Core Strategy realise the need to support the expansion of the University and the Technical College. The provision of student accommodation is key to supporting this expansion and, due to the central location of the site; it is considered that the application site and the proposed use aligns well with the aims of this policy. The principle of this support is further confirmed with the nearby location of other student residential accommodation schemes.

The provision of purpose built accommodation allows for students to reside in highly managed environment instead of the typically unmanaged Houses of Multiple Occupation (HMOs). The impact of students living in HMOs is well reported. A decrease in the number of HMOs through the provision of purpose built student accommodation allows for the properties to be returned to the traditional housing market, increasing the number of properties open to the local residents of Huddersfield and the hinterland areas. Students generally live in low cost housing and the provision of purpose built accommodation allows the release of this generally ‘affordable’ housing back to the general market, recognised by the Council’s Strategic Housing Market Assessment. The proposal therefore meets an identified quantitative need for student accommodation, offering purpose built and managed student accommodation in a sustainable and highly accessible location close to the university campus and the town centre.



The proposed design, which has been informed by the Council from an early stage, reflects the character and design of the new University buildings in the area in terms of materials, scale, massing and bulk, building height and layout. The design is: of a high quality using contemporary materials such as textured buff brick and Rockpanel wood look cladding; has been informed by the character of the local area; delivers a layout which provides a large landscaped area at the centre of the site (details of which are submitted with the application); is inclusive with regards to disabled access for all facilities (both internal and external); and includes crime prevention measures to meet Secured by Design accreditation. In light of these features, it is considered that the proposals comply with UDP Policies G4, G5, BE21, BE22, BE23 and TC22 and emerging Core Strategy Policies CS15 and CS17.

Furthermore, it is considered that the proposals are compliant with Policies BE1, BE2 and BE11 of the UDP and Policies CS10 and CS15 of the emerging Core Strategy as the design creates and retains a local sense of identity with regards to materials and architectural style.

It is considered that the submitted scheme complies with policy BE1 in that:

The development proposal is of good quality design in that it contributes to a built environment which:

- creates a sense of local identity;
- is visually attractive;
- promotes safety, including crime prevention and reduction of hazards to highway users;
- promotes a healthy environment, including space and landscaping about buildings, and
- is energy efficient in terms of building design and orientation and conducive to Energy-efficient modes of travel, in particular walking, cycling and use of public transport.

In terms of quality of design Yeme Architects have submitted a scheme which aims to achieve a high quality of design. The appearance of the proposed development is appropriate to the site and its relationship to its surroundings and adjacent uses in particular the college. The overall scheme would be complimentary to the adjacent uses.

Consequently, the proposal is compatible with UDP policy, BE2 in that the development has been designed so that:

- it is in keeping with any surrounding development in respect of design, materials, scale, density, layout, building height or mass;
- The topography of the site (particularly changes in level) is taken into account;
- satisfactory access to existing highways can be achieved;

The needs of pedestrians and people with disabilities have been considered throughout the development and in line with the requirements of Policies G5 and BE21.

The proposal has no on-site parking spaces but is highly accessible by non-car modes of transport and it located close to the University (five minutes' walk) and the town centre, meaning that walking and cycling will be the primary forms of transport (Policies T19, T20 and draft Policy CS2). Regular local bus services are accessible from stops on Wakefield Road and Firth Street providing a high frequency of services across Huddersfield.



COURTYARD ELEVATION



Fig 17: Architectural language and design precedents



Planning policy seeks to promote more sustainable patterns of development and make better use of previously developed land, the focus of additional housing being existing towns and cities. The NPPF states: “Encouragement should be given to solutions which support reductions in greenhouse gas emissions and reduce congestion. In preparing Local Plans, local planning authorities should therefore support a pattern of development which, where reasonable to do so, facilitates the use of sustainable modes of transport. And plans should give priority to pedestrian and cycle movements, and have access to high quality transport facilities.” The now superseded PPG13 stated that local authorities should “revise their parking standards to allow for significantly lower levels of off-street parking provision, particularly for developments in locations such as town centres, where services are readily accessible by walking, cycling or public transport.”

Walking is likely to be the most frequently used method of transport, given the close proximity of the University. Pedestrian facilities in the local area are good, with a number of crossings on Firth Street and excellent permeability across the campus. There are also signalised crossing facilities over Queensgate to gain access to the town centre.

It is not therefore considered that any enhancements are required to mitigate for this level of pedestrian movement. This meets and exceeds the requirements of Policies R18, TC12, TC17, T1, T10, T14, T16 and draft Policy CS19.

Policy CS15 ‘Design’ - All development proposals will need to be designed so as to:

Maximise road safety for all road users;

- Minimise the risk of crime;
- Create good quality living or working conditions for occupants and for visitors; Protect the amenity of occupiers of neighbouring land and property;
- Avoid restricting the future operational flexibility of any neighbouring business;
- Respect and enhance the appearance of their surroundings;
- Provide means of access which take account of the needs of people with disabilities; Encourage walking, cycling and the use of public transport;
- Reduce the impacts of climate change and be adaptable to its future effects;
- Use sustainable construction materials;
- Maximise the ecological value of the site and the surrounding area; and
- Improve the quality of the public realm



4. Site Location

4.1 Existing Site Photos



4.2 Constraints and Opportunities

Firth Street serves as a secondary road off Wakefield Road, it links back to other primary routes around the site, a stones throw away from the university, and as such it is the perfect location for access into the gateway entrance to the student residential accommodation.

There are virtually no direct views into the site apart from certain points along Colne Road and Firth St. The scale and massing on the boundaries to the site and neighbouring properties vary greatly. Careful consideration has been given to ensure that the proposed buildings respond to the context.

It can be seen that the existing Broomfield House which fronts onto Firth St will largely obscure any views into the courtyard and the new 4 storey apartment development on Colne Rd obscures views from Colne Rd

Recently built student residential schemes have been constructed in the area, generally with stone walls and aluminium windows. It is proposed that the proposed building is to be largely constructed with a multi-textured, buff brick which offers a contemporary contrast to the stone built Broomfield House. Accent features with an appearance of natural timber will be added to certain points of the elevation, however it is proposed these will be made from a hard wearing Rockpanel cladding product.

The vertical slot windows have been specifically arranged and designed in order to reflect a 'random' contrast to the formality of the Broomfield House window arrangement. This serves to improve the massing of the building as well as give the appearance that the interior of the building is less singular.

The current elevation along Firth St consists of several buildings of varying heights and styles, and is predominantly of stone and render in appearance. As the proposed scheme will sit behind the Broomfield House streetscape, careful consideration has been given to the materials and massing. It is felt that a more contemporary design creates a greater sense of dramatic 'arrival' and surprise when users enter into the courtyard.

A key difference between the proposed scheme and the approved scheme (other than the façade treatment) is that the glazed link articulates a new entrance feature and provides a softer junction between the existing and proposed buildings.



Fig 18: Existing fenestration detailing of Public House



5. Use

5.1 Potential Use

The application is for the creation of new student residential accommodation with associated hard landscaping and servicing.

The location of the site is close to both Huddersfields' Universities in an area popular with the student community. The proposals are in line with the local planning policy that is supportive of the purpose built student accommodation in appropriate locations that will help divert demand away from traditional housing suitable for family occupation. The location of the site means that the proposed use is compatible with its immediate neighbours.

6. Current Design Proposal

6.1 Amount

Site Area – 775m² (0.0775 hectares)

Student Residential (Gross Internal Area)

Ground Floor – 247m²

First Floor – 249m²

Second Floor – 247m²

Third Floor – 247m²

Fourth Floor – 243m²

Total number of units - 40 containing:

1. x 40 studio flats

Parking

There will be no associated parking with the proposed scheme. Visitor drop off and service parking to be provided.



Fig 19: Proposed Roof Plan

6.2 Appearance

Rhythm and proportion are considered to be significant factors in this design. The proportions of the windows carefully avoid repetitive punctured windows and portray a pattern of rhythm that appears random. This adventurous lack of conformity is an essential part of the entire design. It is due to the courtyard setting that this is deemed appropriate and also in response to the benign variety of building styles.

The elevational treatment proposed demonstrates sophisticated changes of material and colour. The exterior finish will give a modern feel to the proposal. The combination of materials will provide a bold contemporary styling in this prominent location. The change in materials and the feature cladding elements provide activity and interest to the elevations.

The proposed building is contemporary in design. The overall form reflects the repetitive nature of the floor plates, whilst the façade treatments seek to be visually dynamic so as not to present a monolithic form, allowing them to sit sympathetically within an already fragmented and variable skyline, both from long views and from close views into the site.

There is a well-defined architectural style in this part of Huddersfield and clearly stone is the predominant material within the area. However the courtyard does display significant elements of render and red brick. Therefore the proposed building is articulated with a buff coloured textured brick that compliments the natural stone of the retained Broomfield House. Distinctive vertical slots of glass give a contrast to the masonry and cladding panels and allow natural daylight to be maximised within the student bedrooms and with full height windows to all rooms.

Thorough analysis of the context generated the architectural language which is a contemporary interpretation of the historic architecture of the surroundings. The proposed elevational treatment contrasts the regular window arrangement which is prevalent in the courtyard.

The project aims to develop a responsive language which makes subtle references to the historic industrial architecture, whilst avoiding any sort of pastiche or wilfully derived solutions.



Fig 21: Contemporary intervention with the existing historic architecture



6.3 Layout

The basic form of the building is 5 storeys with all proposed new floors being accessed from the new recessed glazed link building. This has been carefully articulated to appear to be lower than the existing Broomfield House gutter level.

The student residential accommodation will have one principle access point which will allow controlled access into the building for all students and visitors.

The controlled access points will serve as a greeting space for students and any visitors. The main entrance has space for a manned reception, and centralised facilities for student gathering and meeting point. Cleaning/washing, laundry room etc will be located within the existing lower ground floor of Broomfield House.

It is proposed that the single entry point is a controlled access from which each separate floor of accommodation will be accessed.

Refuse storage will be located within the courtyard.

There is a drop-off facility within the courtyard where there will also be an area of hard standing provided for the temporary location of bins on refuse collection day. This drop-off will double up to provide a temporary location for refuse/service vehicles to service the building.

The accommodation is naturally broken down into separate floors each with it's a common circulation core. On each floor there are 8no studio apartments making a total of 40 apartments.

The apartments are all over 23m² and consist of ensuite shower rooms and self contained kitchen areas. The layouts have been carefully designed to ensure they are zoned appropriately and all have centrally positioned double beds. It can be seen that the rooms have distinct work areas to facilitate an improved study environment.

Access to the building will be via an external ramp with adjacent steps from the courtyard, and then a lift and stair core to allow unhindered access to each floor.

The management of the facility requires that the access to individual apartments is to be gained from securely managed shared cores, which should be accessed from the private interior, by residents and visitors should be via a single security controlled entry point.



PROPOSED GROUND FLOOR PLAN (x8 studios)



PROPOSED STUDIO LAYOUT

Fig 22: Proposed Floor Plan and bedroom layout

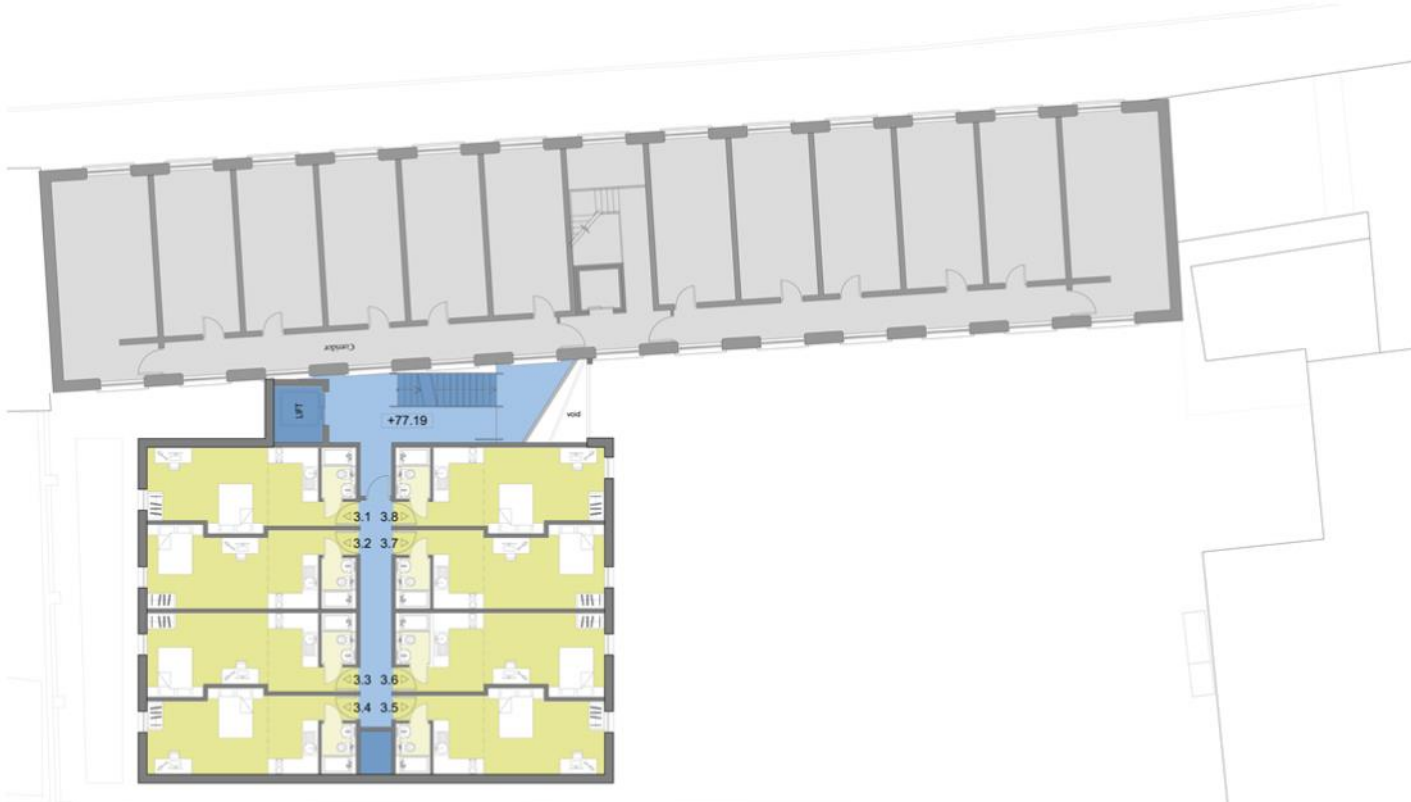




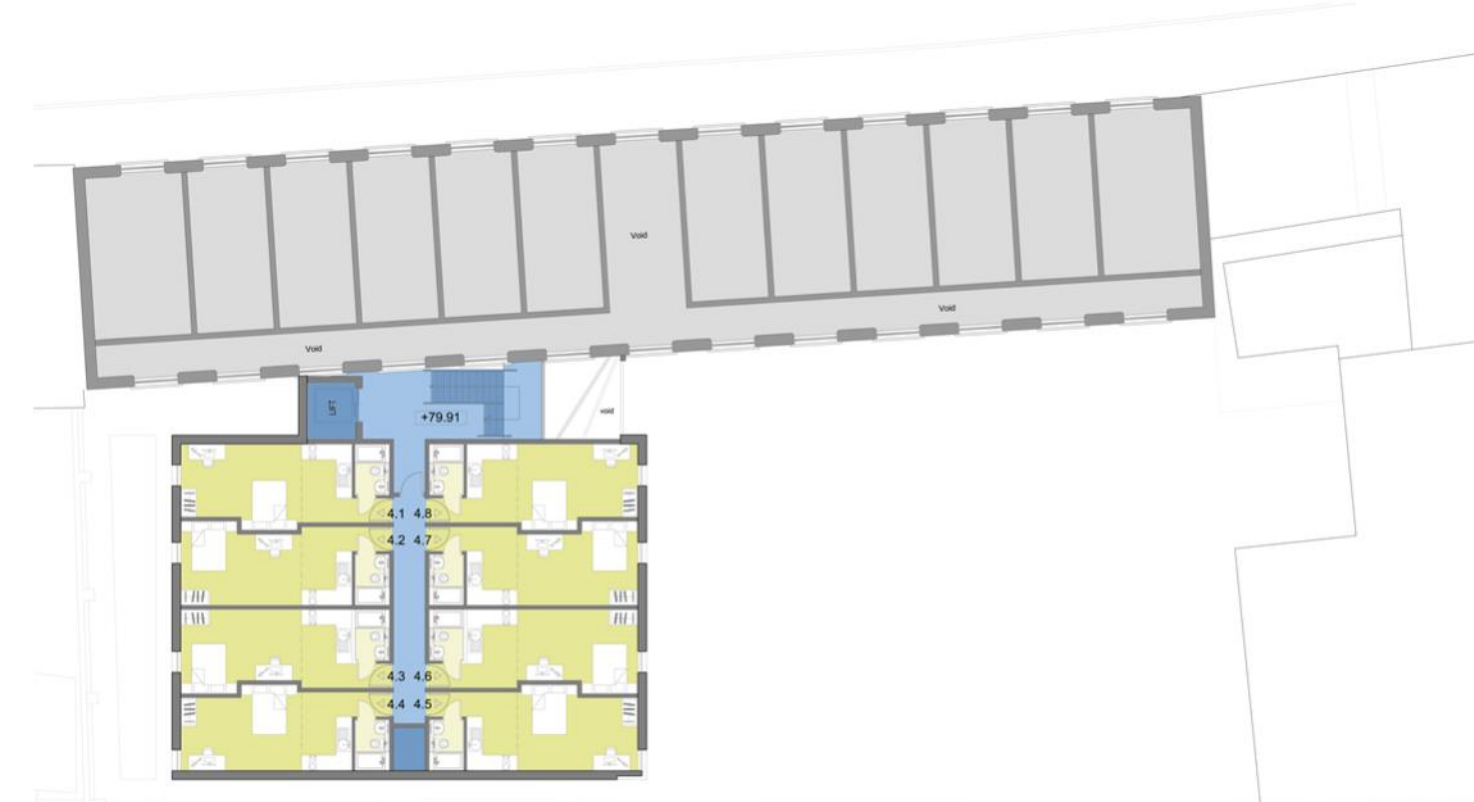
PROPOSED FIRST FLOOR PLAN (x8 studios)



PROPOSED SECOND FLOOR PLAN (x8 studios)



PROPOSED THIRD FLOOR PLAN (x8 studios)



PROPOSED FOURTH FLOOR PLAN (x8 studios)



6.4 Scale and Massing

The surrounding area has student schemes including Firth Point Student Accommodation directly opposite and the recently built complexes along Firth Street. The proposed building is to be the same height as the approved scheme.

The mass of the building is reduced by the layering of materials and the carefully articulated positioning of windows. A clear definition of old and new was a deliberate intervention to help make the proposal and context more legible. The fenestration pattern contrasts the cellular ordered nature of the accommodation and surrounding context.

The proposed development is of a similar scale and massing to the other buildings around the area. The scale varies around the courtyard, to complement that of the existing and responding to the topography. The overall scale of the façades is broken down into smaller components by the use of different materials and through a layering of the elevations to reflect the break-up of the current street scene within the courtyard buildings.

Most of the views around the site remain unaffected by this proposal. The proposed massing and distribution of the blocks was determined by the site's context, topography and orientation.



Fig 23: 3D image showing the massing relationship with neighbouring properties



7. Accessibility and Inclusive Access

7.1 Access to the Site

The applicant recognises the requirements of the Disability Discrimination Act and the Council's own standards to ensure that all new developments are accessible by all sectors of the community, irrespective of any disability. The location of the premises is on a main road and within close proximity of the Town Centre. This provides a wide choice of bus routes both in and out of the Centre as well as cross-routes. The site is also close to the Town's universities and other higher education establishments on the fringe of the Centre which adds considerably to its attraction for use as student accommodation. Such accommodation is expanding in most Cities throughout the Country and depends on being easily accessible by public transport, walking or cycling. As there is no dependency on the use of the private car and given the central location with easy access to a choice of public transport modes, there is no on-site car parking provision included in the proposal for students. The site is considered, therefore, to be wholly sustainable in respect of the proposed use with a wide range of social, recreational and shopping facilities within easy reach by a variety of means of transport.

Locating the shared areas by the single access point improves visibility of those entering and leaving the site.

Level access from drop off bay to the flats will be provided with a ramp access. Within the building a study bedrooms for disabled residents are located on the ground floor. Some of the self-contained studio flats on the ground floor will have level external access to the rear.

The 'car free' nature of the development will be rigorously enforced through the management of the development. Given the proximity of the University campus and the Town Centre, this will be a workable solution, as there will be limited student demand for car travel for day-to-day activities. Management plans will be implemented at the start and end of term times to facilitate improved access.

Refuse bins will be stored within a purpose designed enclosure and collected routinely. Appropriate access and manoeuvring space is available for refuse collection and maintenance vehicles.



8. Conclusion

The proposed building is designed to respond to its siting and context. Given the courtyard location, it demands a scheme which fulfils the potential and nature of the site, given its close proximity to the Town Centre and the university.

The location of the site has generated a design response to provide a modern external aesthetic, whilst also incorporating appropriate materials. There is a range of architectural styles from Victorian, incorporating stone and slate, to contemporary buildings with large areas of glazing. More recently there are university buildings, some of which incorporate metal panel and rain screen cladding within and around Huddersfield Town Centre. The proposed external elevations, whilst modern in appearance and detail have been selected to be compatible with the local area.

Student Accommodation has a number of specific functional requirements that, together with the site constraints and character of the surrounding area, have informed the amount and quality of development proposed.

It should be noted that the developer is very keen to define their offering and quality of service. Their current accommodation is 100% occupied with a very high level of tenant retention year on year. It has been a key element of the design proposal to architecturally express this ethos and provide a consolidated platform for the next phases and future developments. The approved scheme largely fails to do this and does little to attract students seeking particularly high quality accommodation.

