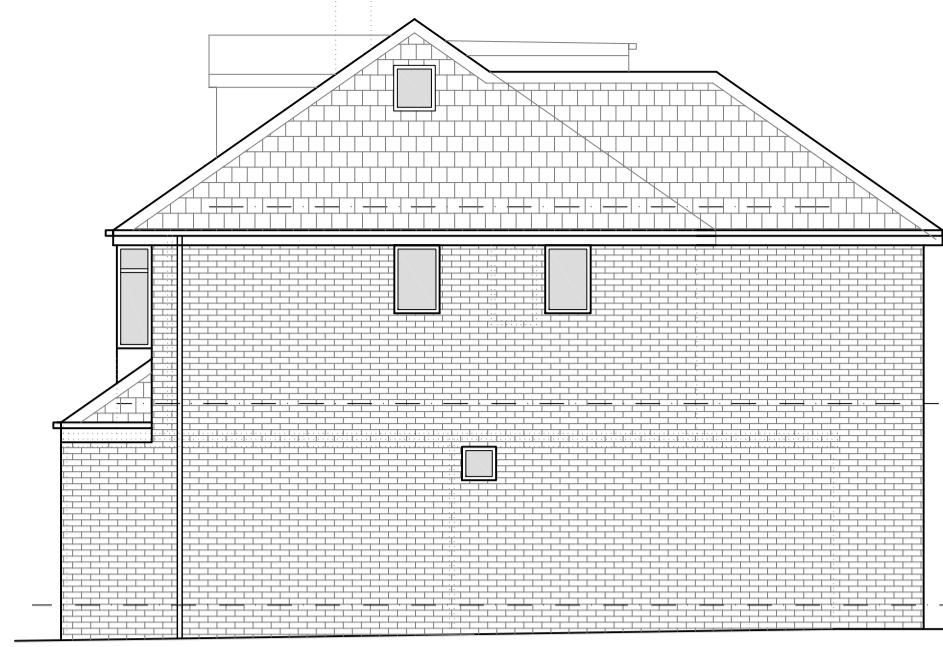




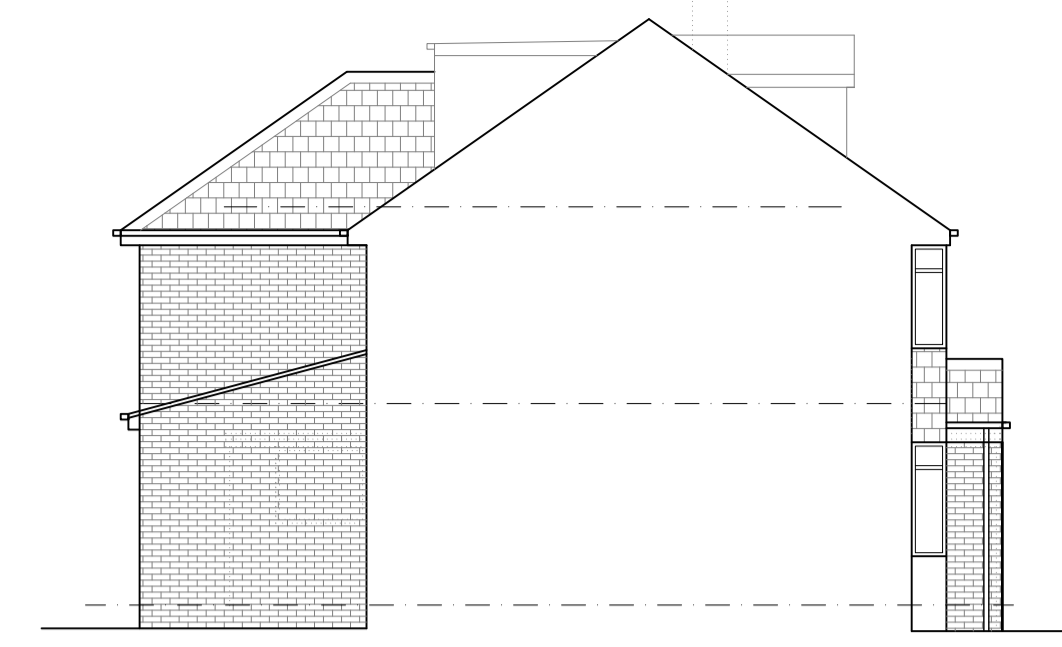
Front elevation



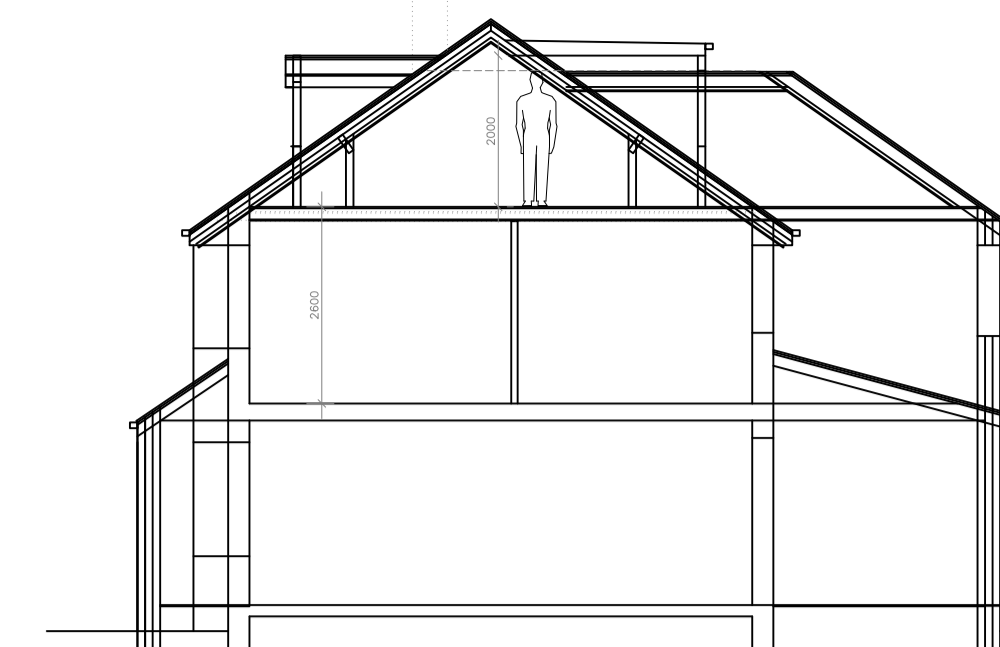
Side elevation



Rear elevation



Side elevation



Sections

No construction work should commence until planning permission, building regulation approval, Yorkshire Water H44 consultation (where applicable) approvals have been obtained in writing.

All plans issued marked preliminary do not constitute instruction to proceed with works onsite and are provided for design consideration. All works carried out onsite should follow the planning approval drawings and conditions attached and the building regulation approved plans, structural engineers report/calculations and any conditions attached.

Client to ensure all information/statutory permissions /approval document are provided to the contractor executing the site works. All works to be inspected and to the approval of the building inspector. Ensure Yorkshire Water Inspector approval/site visit for all works carried out to or near public drains or drains in respect to YWA designated interest.

Client to ensure all proposed works are built on and over own land, ensure foundation spread and eaves overhang do not project over adjacent land ownership. If in doubt consult neighbour and obtain legal advice.

Client is reminded of the party wall act 1996 and to obtain separate legal advice from a party wall surveyor and to ensure any necessary notices, neighbours consent is obtained where works are carried out to party walls, party fence walls and excavations.

ALL DETAILS SHOWN ON THE DRAWINGS ARE INDICATIVE DUE TO NATURE OF WORKING WITH EXISTING BUILDINGS. SUBJECT TO SITE GROUND UP AND SETTING OUT. CONFIRM ALL SIZES AND DIMENSION TO DKA, ALL DIFFERENCE, UNUSUAL OR DIFFERING DETAILS TO BE REPORTED TO DKA FOR FURTHER GUIDANCE.

PLEASE TO CONSTRUCTION CONTRACTOR TO CHECK WITH CLIENT AND THE NEIGHBOURS THE EXACT SET OUT POSITION OF ALL WALLS, FOUNDATIONS, FLASHING DETAILS, DIVERSION OF SERVICES/DRAINAGE GOODS, TO ADJACENT TO BOUNDARIES WHERE SHARED OR AFFECTED TO NEIGHBOURS PROPERTY.

CLIENT TO ENSURE ALL PROPOSED WORKS ARE BUILT ON AND OVER OWN LAND. ENSURE FOUNDATION SPREAD AND EAVES OVERHANG DO NOT PROJECT OVER ADJACENT LAND OWNERSHIP. IF IN DOUBT CONSULT NEIGHBOUR AND OBTAIN LEGAL ADVICE.

DETAILS SHOWN ON THIS DRAWING ARE INDICATIVE AND SUBJECT TO SITE SETTING OUT AGREEMENT WITH ADJACENT NEIGHBOURS.

SINGLE STOREY EXTENSION AREA IS CONSIDERED AS PERMITTED DEVELOPMENT, AS SUCH MAXIMUM HEIGHT OF A SINGLE-STOREY REAR EXTENSION OF FOUR METRES. MAXIMUM EAVES HEIGHT OF AN EXTENSION WITHIN TWO METRES OF THE BOUNDARY OF THREE METRES SINGLE-STOREY REAR EXTENSION MUST NOT EXTEND BEYOND THE REAR WALL OF THE ORIGINAL HOUSE BY MORE THAN THREE METRES. FOR FULL RULES REFER TO [HTTP://WWW.PLANNINGPORTAL.GOV.UK/PERMISSIONS/COMMONPROJECTS/EXTENSIONS/](http://www.planningportal.gov.uk/permissions/commonprojects/extensions/)

**PLANNING NOTE FOR LOFT CONVERSION AND DORMERS**

A loft conversion for your house is considered to be permitted development and not requiring an application for planning permission, subject to the following limits and conditions:

A volume allowance of 40 cubic metres additional roof space for terraced houses\*

A volume allowance of 50 cubic metres additional roof space for detached and semi-detached houses\*

No extension beyond the plane of the existing roof slope of the principal elevation that fronts the highway

No extension to be higher than the highest part of the roof

Materials to be similar in appearance to the existing house

No verandas, balconies or raised platforms

Side-facing windows to be obscure-glazed; any opening to be 1.7m above the floor

Roof extensions not to be permitted development in designated areas

Roof extensions, apart from hip to gable ones, to be set back, as far as practicable, at least 20cm from the eaves

\*Bear in mind that any previous roof space additions must be included within the volume allowances listed above. Although you may not have created additional space, a previous owner may have done so.

(Ref full guide - <http://www.planningportal.gov.uk/permissions/commonprojects/loftconversion/>)

PLANNING FOR REAR DORMER TO BE CARRIED OUT UNDER PD RIGHTS

ADDITIONAL CUBIC AREA OF REAR DORMER IS:  $3.22\text{M}^3$

$1.4\text{M} \times 2.3 = 3.22\text{M}^3$

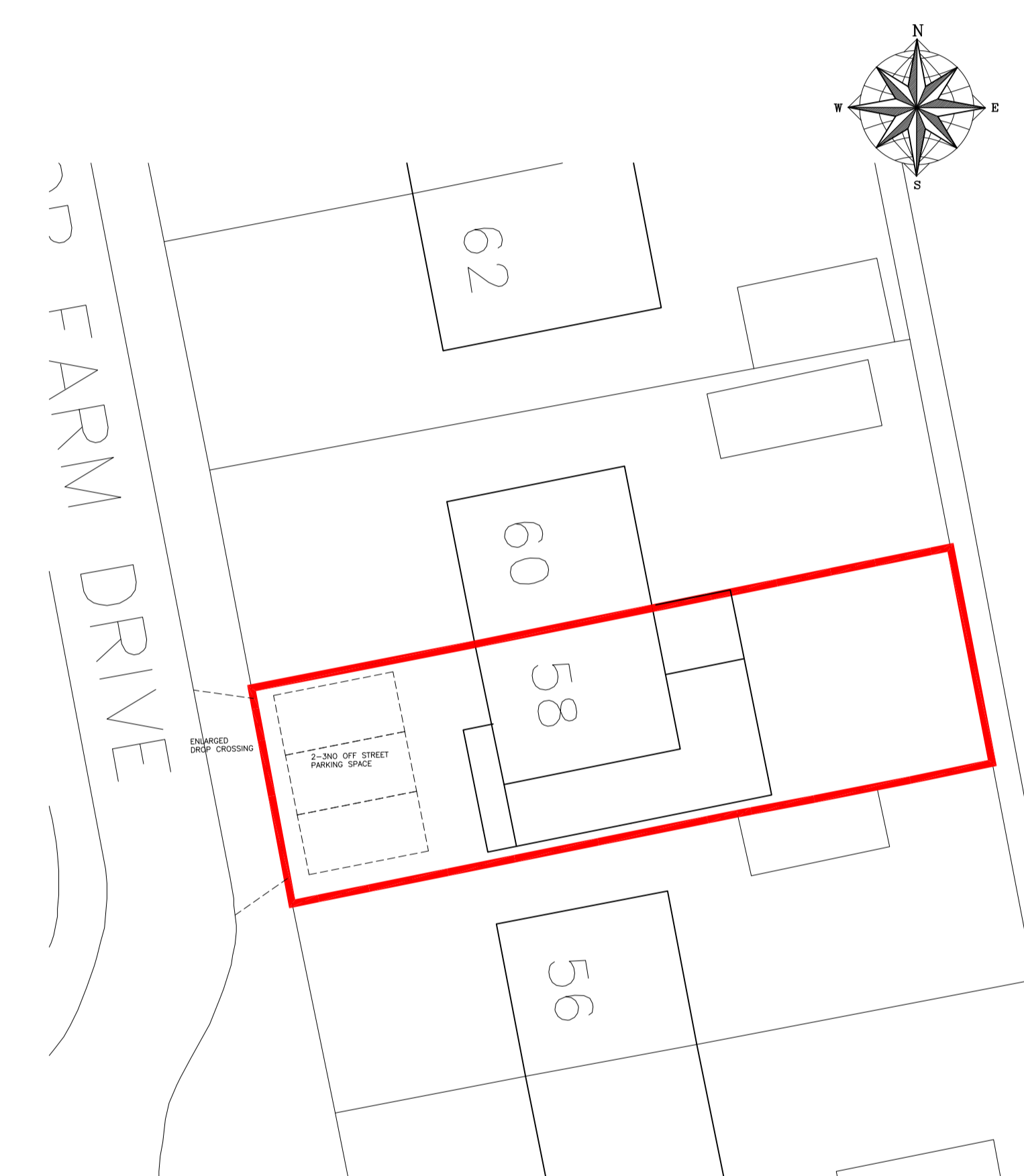
$3.9\text{M} \times 4.8 \times 0.5 = 9.36\text{M}^3$

ADDITIONAL CUBIC AREA OF FRONT DORMERS IS:  $1.3\text{M}^3$

$1.3\text{M} \times 2 \times 0.5 = 1.3\text{M}^3$

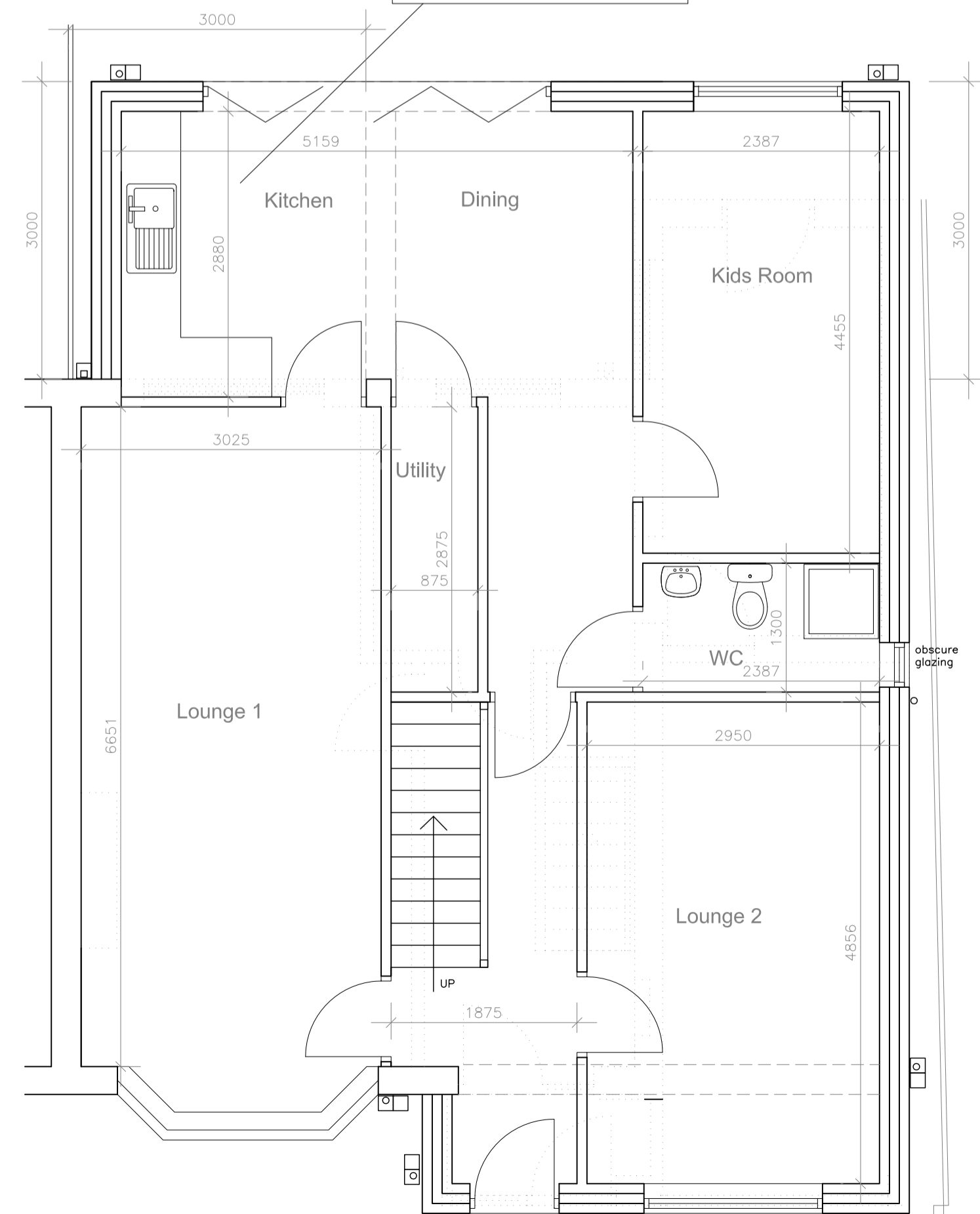
$5.8\text{M} \times 6 \times 0.5 = 19.14\text{M}^3$

TOTAL ADDITIONAL CUBIC AREA OF ROOF IS:  $3.22 + 9.36 + 19.14 + 1.3 = 33.32\text{M}^3$  CHECK, THEREFORE WITHIN PD RIGHTS FOR REAR DORMER EXTENSION

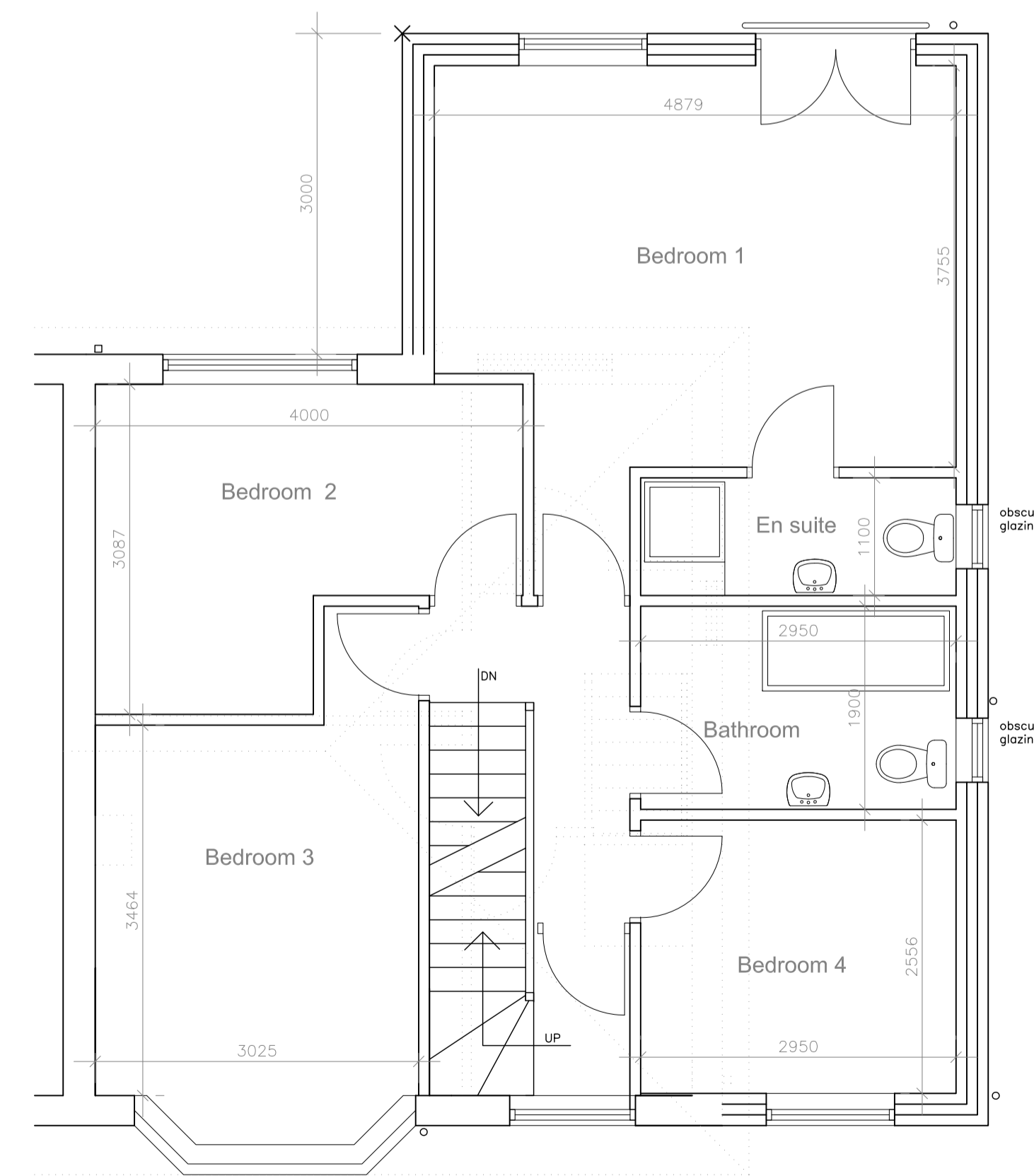


SITE PLAN 1:200

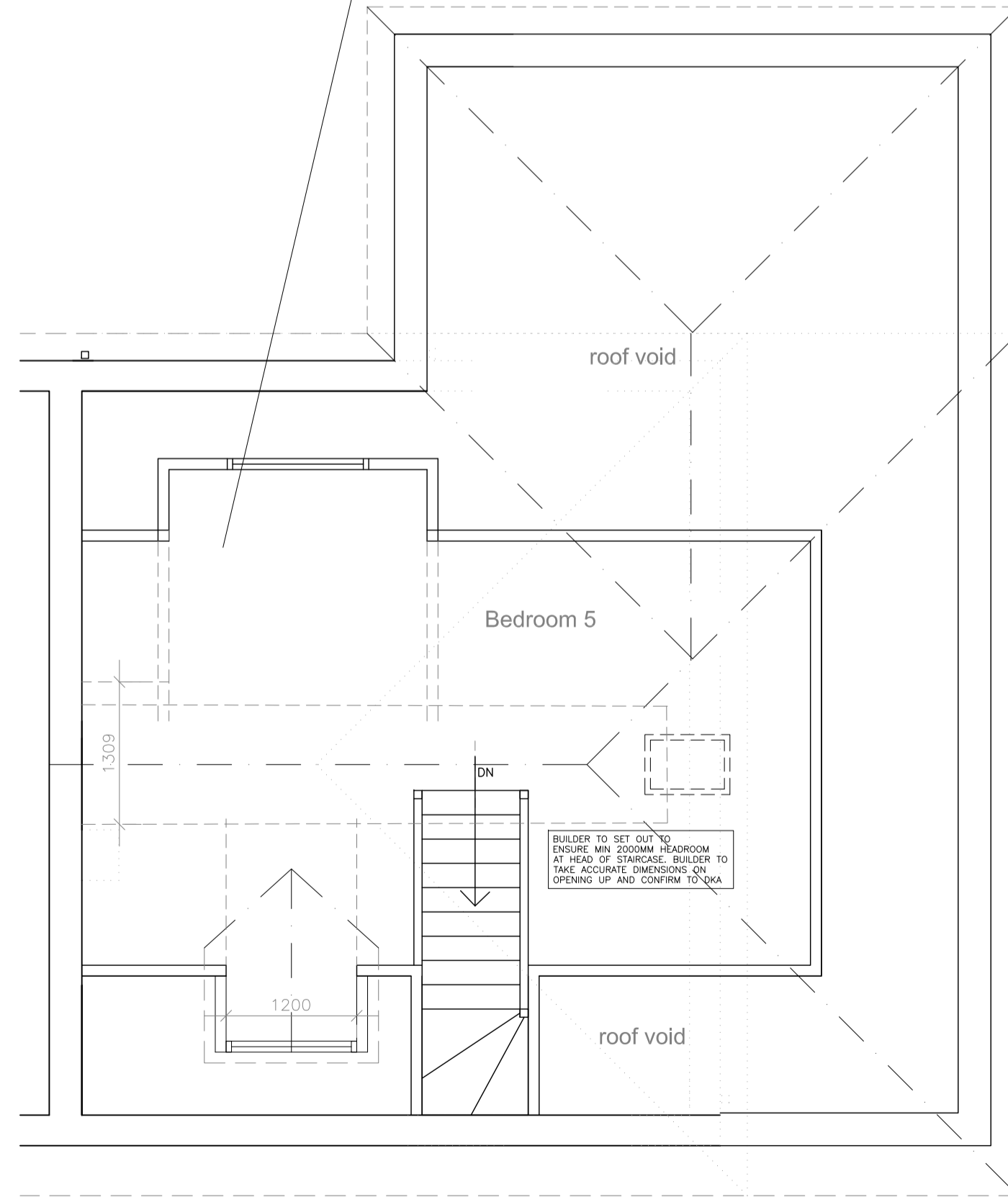
PRELIMINARY



Ground floor plan



First floor plan



Second floor plan

INDICATIVE PLAN FOR DESIGN CONSIDERATION PURPOSES ONLY, SUBJECT TO APPROVAL AND DETAILED DESIGN

**DK ARCHITECTS**

**PROJECT:**  
EXTENSION TO DWELLING

**ADDRESS:**  
58 MANOR FARM DRIVE, BATLEY  
WF17 6HQ

**DRG:**  
PROPOSED PLANS & ELEVATIONS

**STATUS:**  
PLANNING APPLICATION  
subject to approval

**DATE:** NOV 2014    **DRAWN:** AHD  
**SCALE:** 1:50, 100, 1250    **CHECKED:** ANK  
**SIZE:** A1    **DRG NO:** 14.2044.04A

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