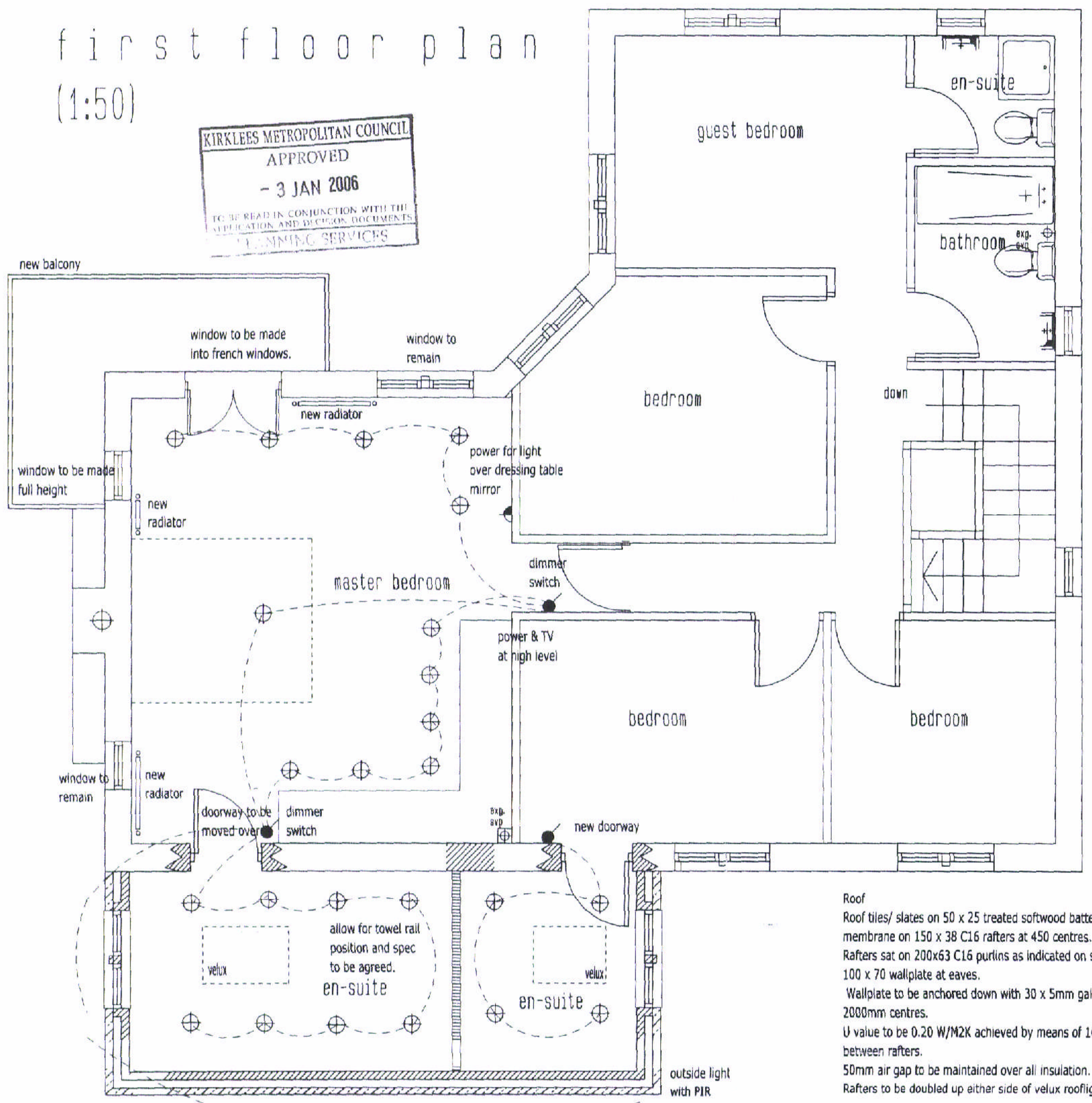
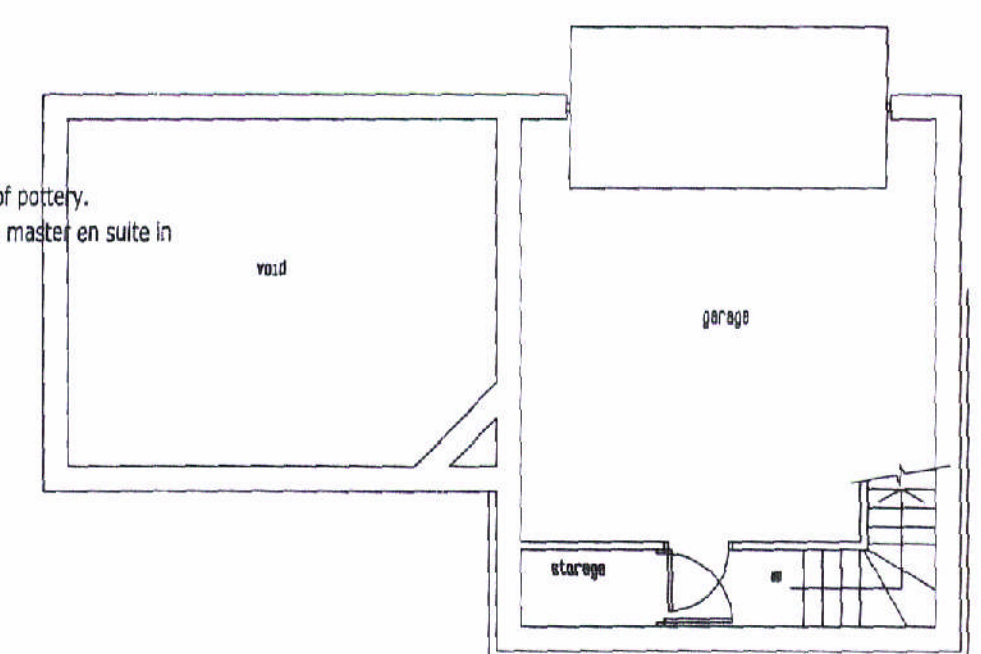


first floor plan
(1:50)



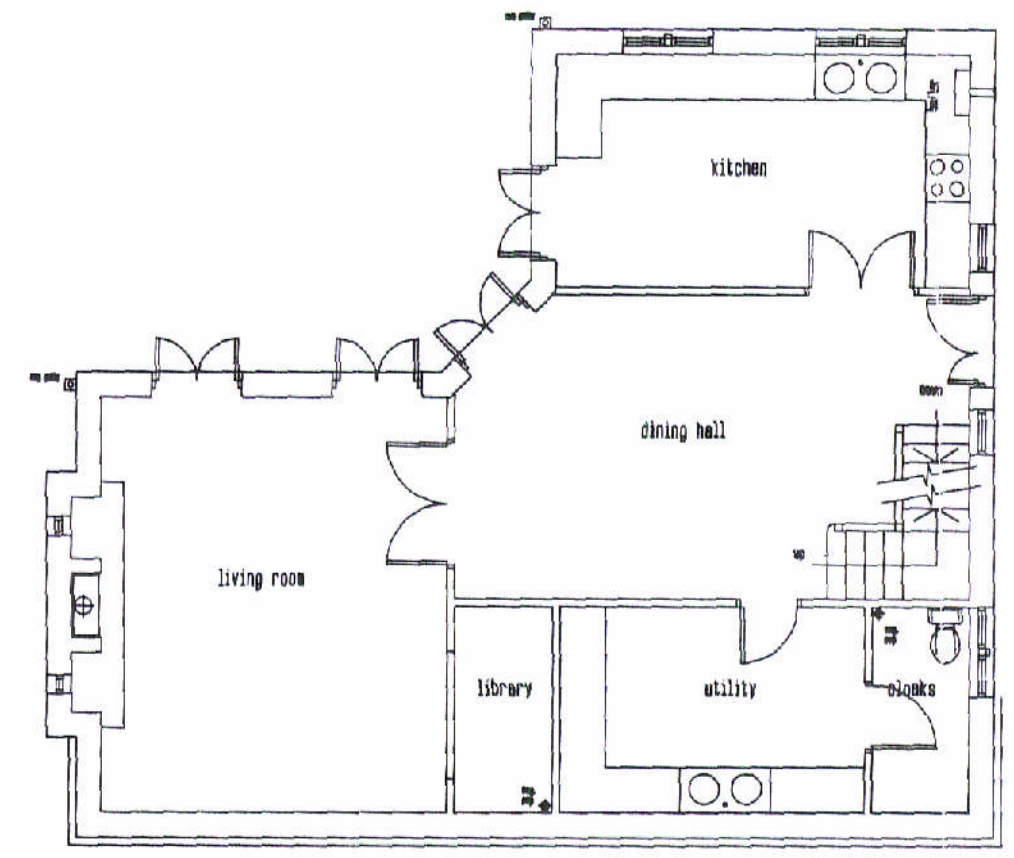
Sanitary ware
Householder to specify type and location of pottery.
Re use shower head, tray and cubicle from master en suite in bedroom en suite.



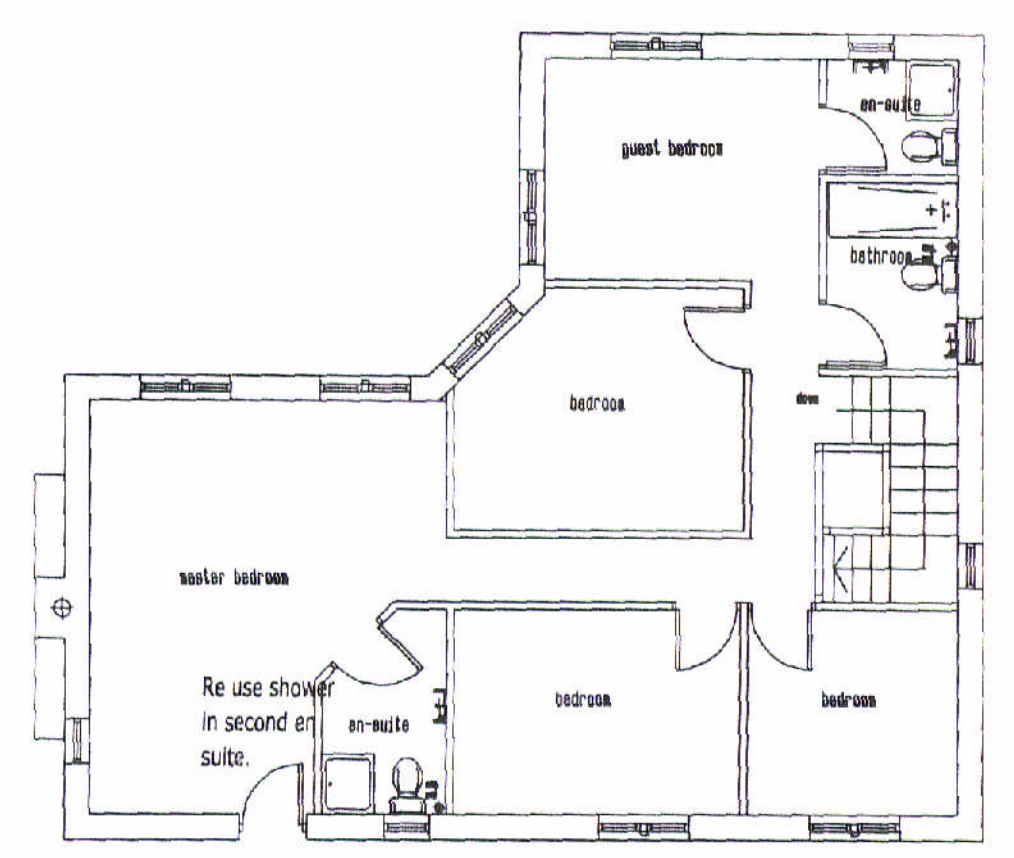
basement plan

Wastes and drainage
Above ground wastes to be sized as follows and be complete with 75mm trap seals: sinks 38mm, wash hand basins 32mm, 100mm to WC's and 50mm to combined wastes.
Below ground drainage to be as per layout plan and be in either 100mm clay or plastic surrounded with 10mm pea gravel and laid to falls.

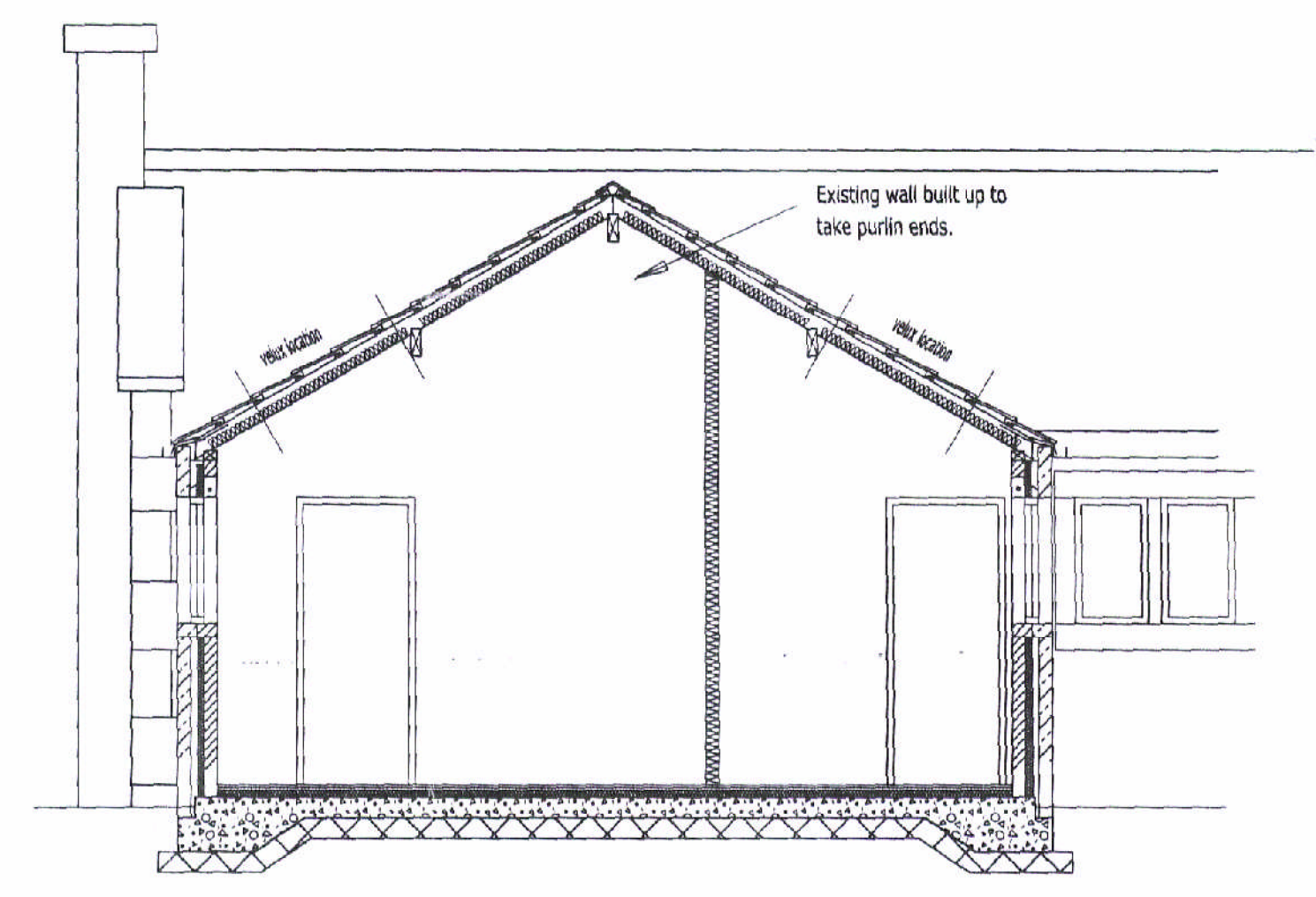
Existing Layouts (1:100)



ground floor plan



first floor plan



Section (1:50)



north elevation



west elevation



south elevation



east elevation

Existing Elevations (1:200)



Location plan (1:1250)

Roof
Roof tiles/ slates on 50 x 25 treated softwood battens on breathable felt membrane on 150 x 38 C16 rafters at 450 centres.
Rafters set on 200x63 C16 purlins as indicated on section and on a 100 x 70 wallplate at eaves.
Wallplate to be anchored down with 30 x 5mm galvanised mild steel straps at 2000mm centres.
U value to be 0.20 W/M2K achieved by means of 100mm Kinspan TP10 between rafters.
50mm air gap to be maintained over all insulation.
Rafters to be doubled up either side of velux rooflights.

External Walls
Natural stone to match existing to external skin, 50mm clear cavity, 50mm Kingspan TW50 (or similar approved), 100mm block to inner skin with 12.5 plasterboard on dabs with 3mm skim finish.
Stainless steel wall ties to be installed at 450 centres vertically, 750 centres horizontally and at 300 centres vertically at jambs of openings and abutment with existing.
Wall ties to have minimum 50mm embedment into walls.
External walls to achieve a U value of 0.35 W/M2K.
DPC's to be provided around all openings and 150mm minimum above ground level.

Foundations/slab
Foundations to be formed with a raft construction due to fill material underneath the structure generally comprising of 150mm slab with reinforced edge beam on consolidated hardcore on 1200g dpm on 25mm sand blinding.
Refer to Doyle Partnership drawing and bar schedule for full details.

DPC's, soakers and flashings
Horizontal dpc's to be incorporated minimum 150 above proposed ground level and around all openings. Cavity trays to be incorporated at door and window heads with proprietary weep holes at 900mm max centres set out symmetrically over openings.
Leadwork to valleys to be treated with patination oil to avoid staining and to be a minimum code 4.

Partitions
100 x 50 timber studwork clad either side with 9.5mm plasterboard with skim finish.
Sound reducing quilt to be incorporated into partition.

Windows
UPVC frames with double glazed sealed units utilising Pilkington K glass to achieve a U value of 2.0 W/M2K.
Trickle vents to be incorporated at window heads to achieve airflow of 4000m2 to each en suite.
Opening lights to be incorporated to achieve natural ventilation equal to one twentieth of the floor area within each room.

Floor
18mm moisture resistant chipboard with manufactures marking uppermost on 75mm Kingspan TF70 on concrete slab as previously described.

Ceiling
12.5mm plasterboard fixed to underside of rafters and have 3mm plaster skim finish.

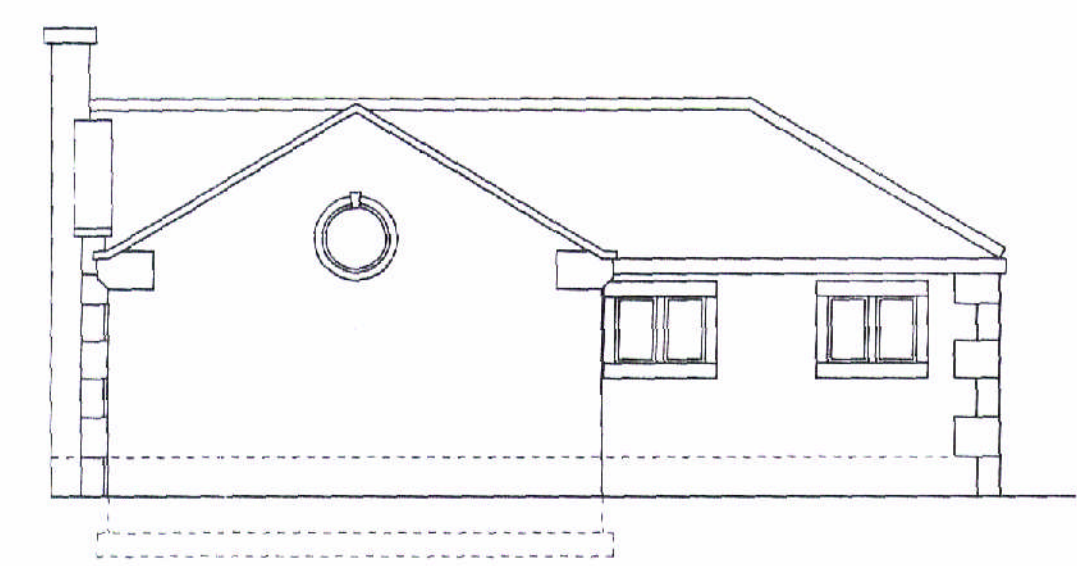
Mechanical ventilation
Electric fans to be provided to the en suites and to provide airflow of 15 litres per second c/w overrun.

Electrical
Sockets and fittings to be provided in locations indicated on layout plans.
Allow for power and switch over basin.
Heights to be not less than 450 and not more than 1200 above finished floor level.
Electric underfloor heating to be provided to master en suite.
Allow for 4 pairs of double sockets to master bedroom, position to be agreed on site.
Existing wall lights to become redundant.
Installation to be certified by a competent person upon completion in accordance with Approved Document P.

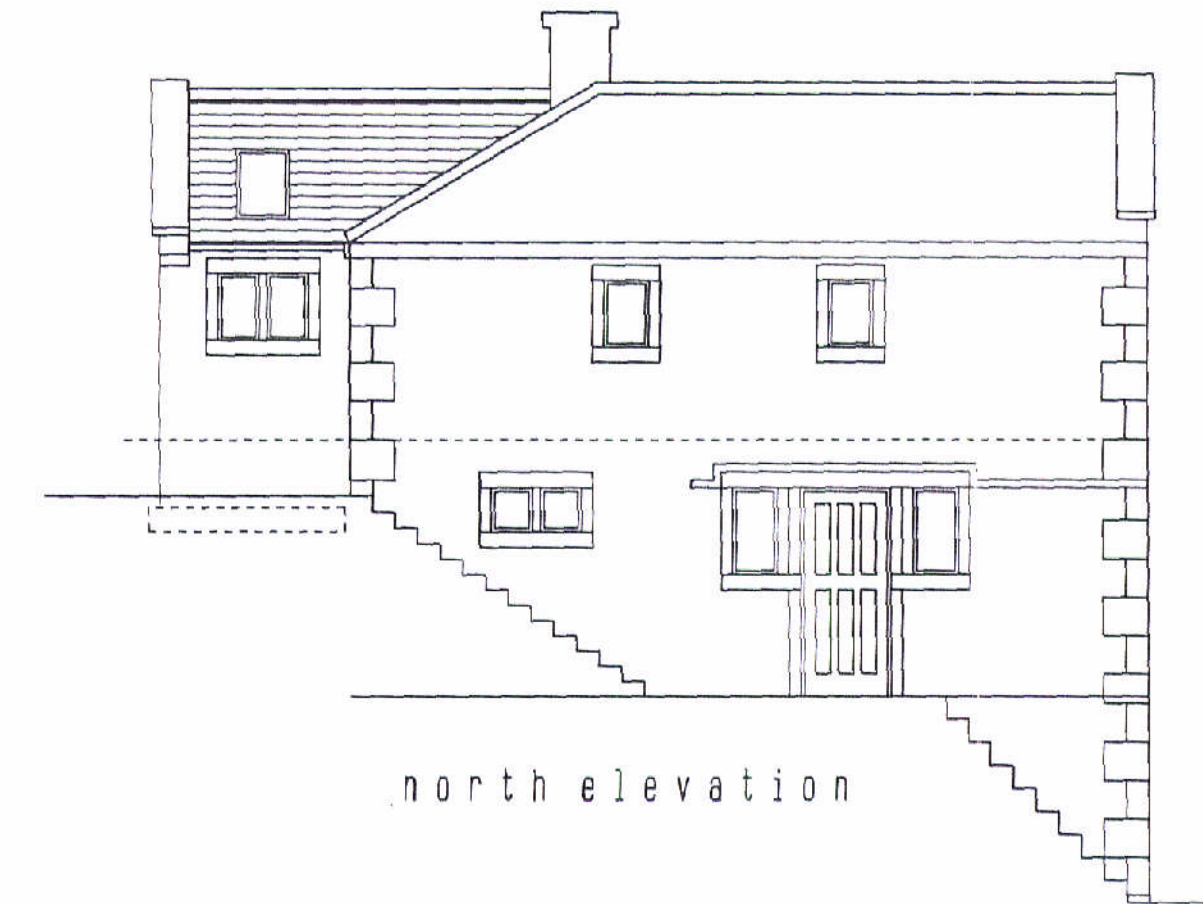


west elevation

New balcony constructed from mild steel with paint finish.



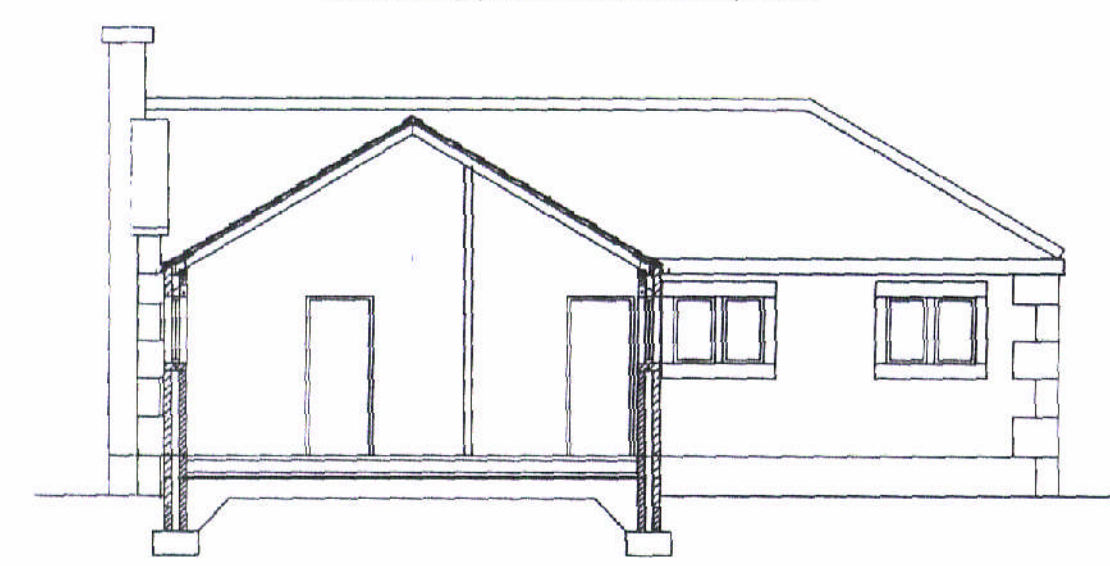
east elevation



north elevation



south elevation



section a-a.

Note:
Layout plan has been updated to illustrate increased size of extension but elevations have not.

Proposed Elevations (1:100)



Colne Valley Design
36 Waverley Street
Slaithwaite
Huddersfield HD7 5EH

Tel/Fax: 01484 842087
Mobile: 07867 803312
E-mail: mitchell@cvdesign.freemove.co.uk
Proprietor: S.A. Mitchell (AIOB)

Project
Proposed rear extension.

For
Mr D Swierzynski and Mrs H Knight.

Address
15 Town End View
Wooldale
Holmfirth

Scale 1:50
Scale 1:100
Scale 1:200
Scale 1:1250

(When to scale of original plan, bar = 8cm)
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Title
Planning drawing. (Balcony)

Job No.
03/J35

Drawing number
01 C

Date
Nov 2003