



Planning (Listed Buildings and Conservation Areas) Act 1990

LISTED BUILDING CONSENT

Application Number: 2005/65/93572/W2

To: D B ARCHITECTS

For: MR & MRS S NIXON

The Kirklees Council hereby give notice that LISTED BUILDING CONSENT has been granted for the execution of the works referred to:-

LISTED BUILDING CONSENT FOR CONVERSION OF DWELLING TO 8 NO. SELF
CONTAINED APARTMENTS (WITHIN A CONSERVATION AREA)

At: 9 queens Road, edgerton, huddersfield, HD2 2AE

In accordance with the plan(s) and applications submitted to the Council on

15 Aug 2005, subject to the condition(s) specified hereunder:-

(1) The development shall be begun not later than the expiration of five years beginning with the date on which permission is granted.

- (2) The roof lights shall be of a conservation style in accordance with details to be agreed in writing by the Local Planning Authority before development commences.
- (3) The development hereby permitted shall not be begun until details of all gutters, downpipes and all other external plumbing have been submitted to and approved in writing by the Local Planning Authority; the use of plastic or similar materials for such items will not be acceptable. These items shall then be provided in accordance with the approved details and so retained thereafter.
- (4) New windows shall be timber single glazed double hung sashes using cords, pulleys and weights. Mouldings and timber sections shall be of a traditional design and profile. Details shall be agreed in writing by the Local Planning Authority before development commences.
- (5) Satellite dishes shall not be mounted on any external wall of the building.
- (6) No stone cleaning shall take place unless otherwise agreed in writing by the Local Planning Authority.
- (7) Details of all finishes and materials used in the construction for walls, floors and ceilings shall be submitted to and agreed in writing by the Local Planning Authority.
- (8) All lead flashing shall be in accordance with British Standard No. 1178 and according to the Lead Development Association's 'Lead Sheet in Building (as amended)'.
- (9) Soil and vent pipes shall be internal and shall be painted black where they project above the roof slope unless otherwise agreed in writing by the Local Planning Authority.
- (10) Before development commences details shall be submitted of all external extractor vents, heater flues and meter boxes and agreed in writing by the Local Planning Authority.
- (11) The gutters shall be timber of an ogee profile. They shall be supported by metal brackets and shall not be fixed to a timber fascia.
- (12) Rainwater pipes shall be cast iron and shall be painted black, unless otherwise agreed in writing by the Local Planning Authority.
- (13) Details of the stained finish of all joinery shall be agreed in writing by the Local Planning Authority before development commences.
- (14) All new window and door surrounds shall be of natural stone.
- (15) Notwithstanding the details shown on the approved plan a full scheme for all new external joinery (windows and doors) shall be submitted to and agreed in writing by the Local Planning Authority. The submitted details shall include elevations drawn to 1:20 and sections at 1:5 scale.

NOTE This permission shall relate to the amended plan(s) submitted on 6 October 2005.

The reasons for the Council's decision to grant permission for the development subject to compliance with the conditions specified are:-

(1) Pursuant to Section 18(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990.

(2/4) In the interests of visual amenity and to accord with Policy BE3 of the Unitary Development Plan.

(5) To ensure that the proposed works are in keeping with the character and appearance of the listed building and to accord with Policies BE3 and BE5 of the Unitary Development Plan.

(6) To ensure that the proposed works are in keeping with the character and appearance of the listed building and to accord with Policy BE3 of the Unitary Development Plan.

(7/12) To ensure that the proposed works are in keeping with the character and appearance of the listed building and to accord with Policies BE3 and BE5 of the Unitary Development Plan.

(13/14) To ensure that the proposed works are in keeping with the character and appearance of the listed building and to accord with Policies BE3 and BE5 of the Unitary Development Plan.

(15) So as to ensure the satisfactory appearance of the development on completion and to accord with Policy BE5 of the Unitary Development Plan.

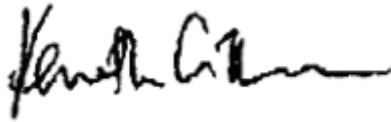
The decision to grant planning permission has been taken having regard to the policies and proposals in the Kirklees Unitary Development Plan set out below, and to all other relevant material considerations:

BE3 - Preservation of Listed Buildings

BE5 - Preservation/enhancement of conservation areas.

Dated: 10 Oct 2005

Signed:

A handwritten signature in black ink, appearing to read 'Ken Gillespie', written over a horizontal line.

Ken Gillespie
Director of Regeneration

Address to which all communications should be sent:

Planning Services, PO Box B93, Civic Centre, Off Market Street, Huddersfield, HD1 2JR