

WHERE APPLICABLE

THE WORK INVOLVES BUILDING UP ABOVE AN EXISTING GARAGE DWG-01/03 APPROVAL 2001/62/00700

TO FORM TWO ADDITIONAL BEDROOMS. FOUNDATIONS EXPOSED FOR INSPECTIONS BY B2. NEW EXTERNAL WALL OUTER LEAF OF FACING BRICK TO MATCH HOUSE WITH 50mm CLEAR CAVITY AND INNER LEAF OF 130mm INSULATION BLOCK ALL TO GIVE U VALUE OF 0.45 W/M²/°C WHEN PLASTERED NEW 100mm BLOCK INNER WALL AT FF TO DIVIDE BEDROOMS TO BE BUILT FROM NEW UB. ACROSS GARAGE CALCULATIONS AND DETAILS TO BE SUBMITTED BY SE PRIOR TO COMMENCEMENT. NEW BEAM PROTECTED TO 1/2HR BY 15mm FIRELINE BOARDED WIRED AND SKIMMED. NEW EXTERNAL WALL FULLY TOOTHED AND BONDED COARSE FOR COARSE INTO EXISTING AND NEW AND EXISTING CAVITY TO BE CLEAR AND CONTINUOUS. CAVITY CLOSED AT TOP WITH MIN 100mm BLOCK AND AT REAR HEADS AND EELS WITH BLOCK DPC AND COLD BRIDGE INSULATION. HEADS TO BE CATNIC OR EQUAL (NOT SEEN) CILLS TO MATCH EXISTING DEPENDANT UPON EACH ELEVATION.

FIRST FLOOR TO BE 19mm T.G SEALED QUALITY CHIPBOARDS ONTO 50mm 150mm S/G JOISTS @ 400mm C/CES WITH 150mm QUILT INSULATION BETWEEN AND 15mm FIREWRE AND SKIM CEILING TO GARAGE BELOW TO GIVE U VALUE OF 0.6 W/m²/C AND 1/2HR FIRE PROTECTION.

DOUBLE GLAZED WINDOWS TO MATCH 8000mm² TRICKLE VENTS TO EACH BEDROOM

NEW OPENING CUT THROUGH FROM LANDING WITH 150mm x 100mm R.C. LINTOLS OVER (2ND) AND 2ND
STEPS @ 150mm RISE EACH UP TO NEW EXTENSION FLOOR LEVEL (AT APPROX 200mm BELOW EXISTING
F.F. LEVEL

ROOF TO BE DARK CONCRETE PANTILE TO MATCH EXISTING ONTO 50mmx125mm 5/W RAFTERS @ 400mm CTRS
ONTO 5/W PURLINS (2No) AS SHOWN FROM NEW HIP ONTO EXISTING HIP AND SUPPORTED BY EXISTING WALL
(TAKEN UP). 38mmx147mm 5/W CEILING JOISTS @ 400mm CTRS WITH 75mm x 50mm WALL PLATE AND HANGERS
AND RUNNERS. CEILING OF 12.5mm PLASTERBOARD AND 50mm AND 200mm QUIET INSULATION.

DOORS SKIRTINGS ARCHITRAVES WINDOWS AND WINDOW BOARDS ALL TO MATCH EXISTING.

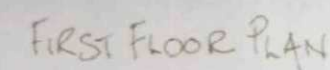
EXISTING ELECTRICAL AND CENTRAL HEATING EXTENDED TO NEW BEDROOM 4 AND 5 TO CLIENTS REQUIREMENTS.

CUTTERS FASCIA AND SOFFIT EXTENDED TO MATCH, TO DELIVER INTO EXISTING FRONT AND REAR RAINWATER PIPES AND GULLIES UNALTERED.

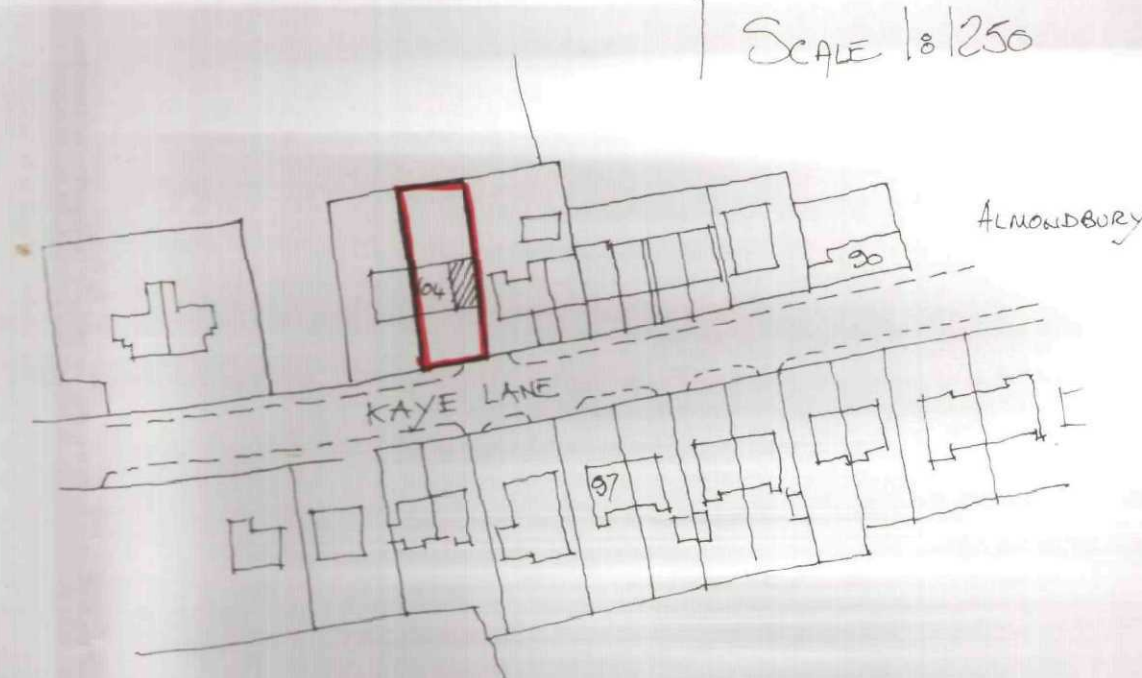
CALCULATIONS, SIZES AND DETAILS TO BE PROVIDED BY STRUCTURAL ENGINEER PRIOR TO COMMENCEMENT FOR V.C. ACROSS GARAGE TO SUPPORT FF. BLOCK WALL AND SOME CEILING LOAD ALSO NEW PURLINS AS SHOWN TO DIAGRAMATIC. ROOF PLAN.

NEW FIRST FLOOR BEDROOMS TO HAVE MEANS OF ESCAPE WINDOWS
TO BE UNOBSTRUCTED OPENABLE AREA OF $0.33m^2$ MIN

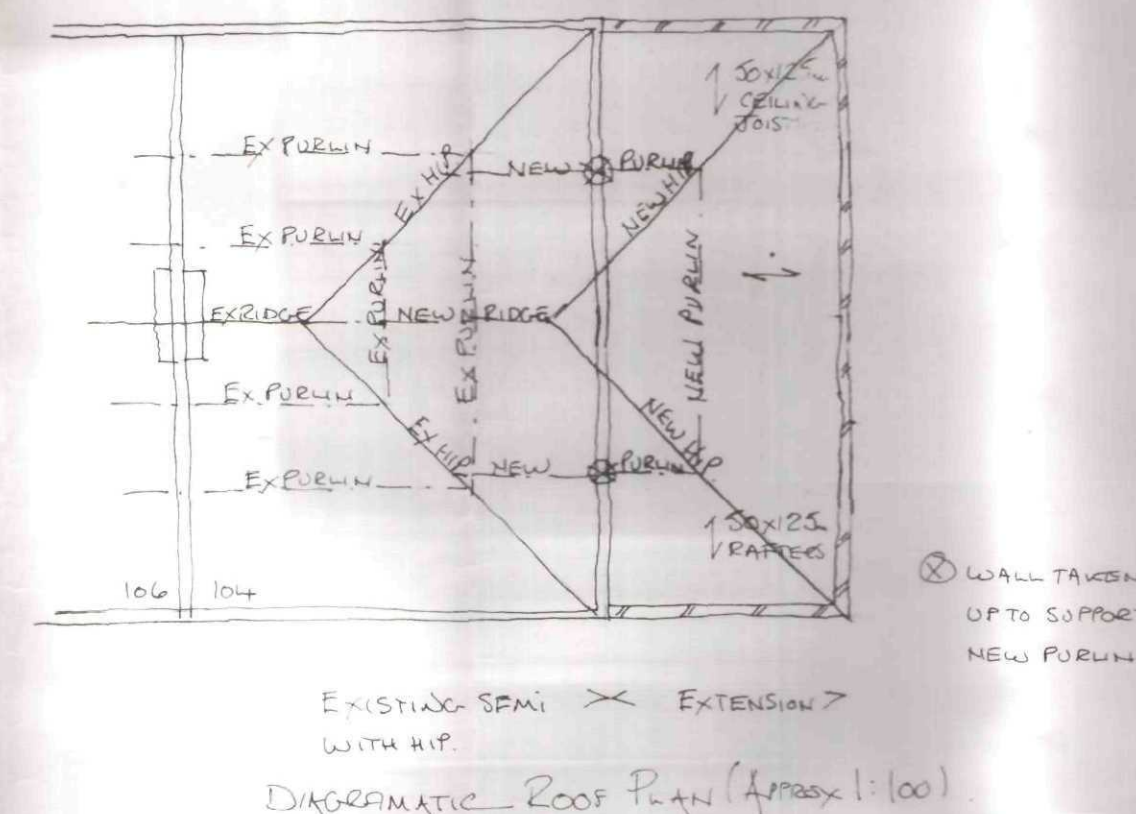
MAX HEIGHT TO CIL 1100mm AND MIN DIMENSION 450mm EITHER WAY
(ED MIN 733mm x 450mm WOULD GIVE $.733 \times .450 = .33m^2$)



* DIMENSIONS APPROX AND SUBJECT TO SITE CHECK
(BUILT FROM EXISTING WALLS BELOW).



SCALE 1:8250



⊗ WALL TAKEN
UP TO SUPPORT
NEW PURLIN

NOTES :

FOR G.F. GARAGE DETAILS SEE 01/03
THIS PLAN FOR PLANNING PURPOSES ONLY
BUILDING REGS NOTES SPECIFICATIONS
AND DETAILS TO BE ADDED

Amended Plans
rec'd 29/11/01

KIRKLEES METROPOLITAN COUNCIL
APPROVED
18 DEC 2001
TO BE READ IN CONJUNCTION WITH THE
APPLICATION AND DECISION DOCUMENTS
PLANNING SERVICES

REVISIONS :

DATE	SUBJECT
30-10-01	A. BUILDING RECS NOTES ADDED
24-11-01	B. ADDITIONAL Do Do.
16-11-01	C. ROOF AMENDED (PLANNING)

CLIENT :

MR AND MRS J M^CKINNELL
104 KAYE LANE
ALMONDBURY

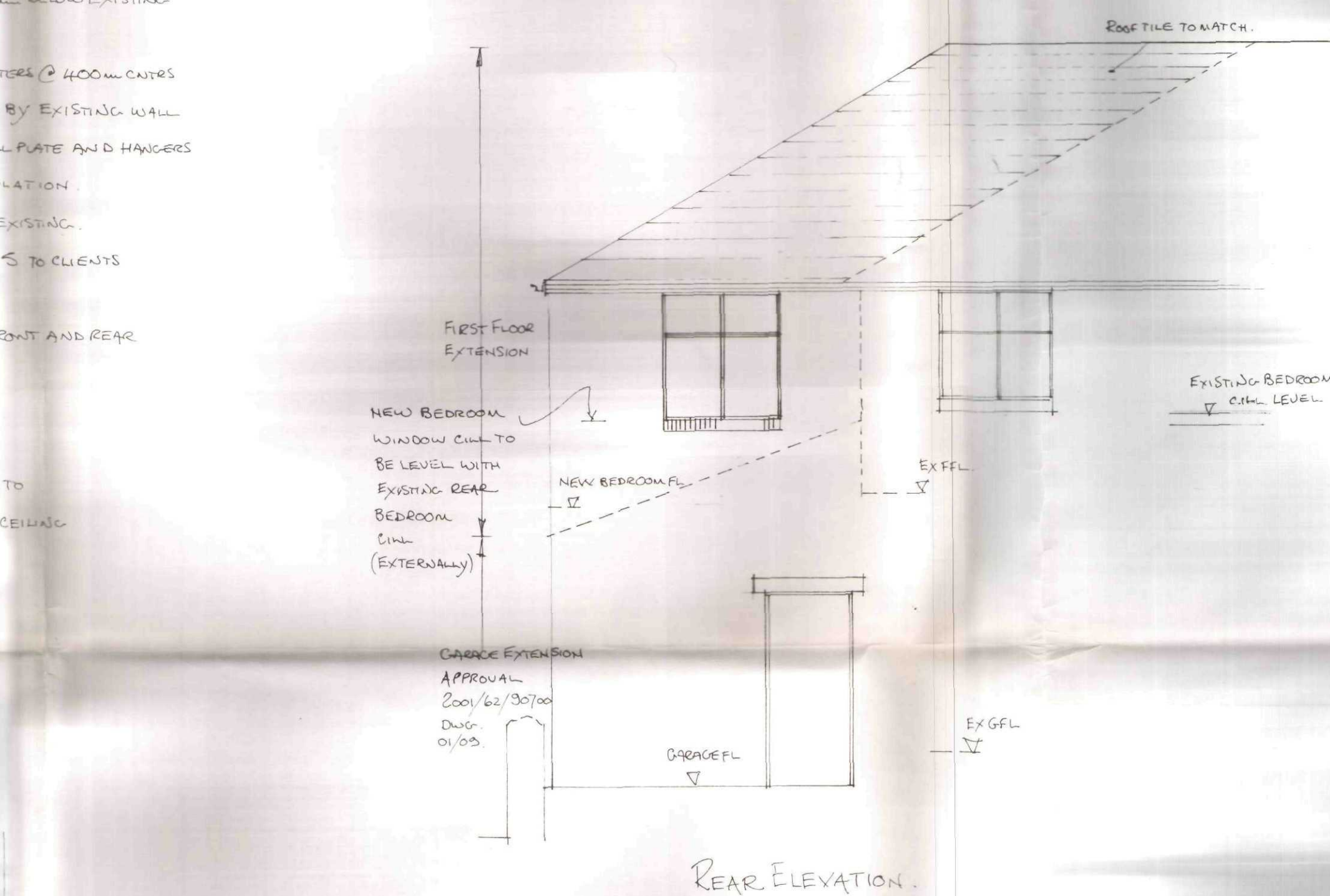
PROJECT :

FIRST FLOOR EXTENSION ABOVE GARAGE TO FORM ADDITIONAL BEDROOMS.

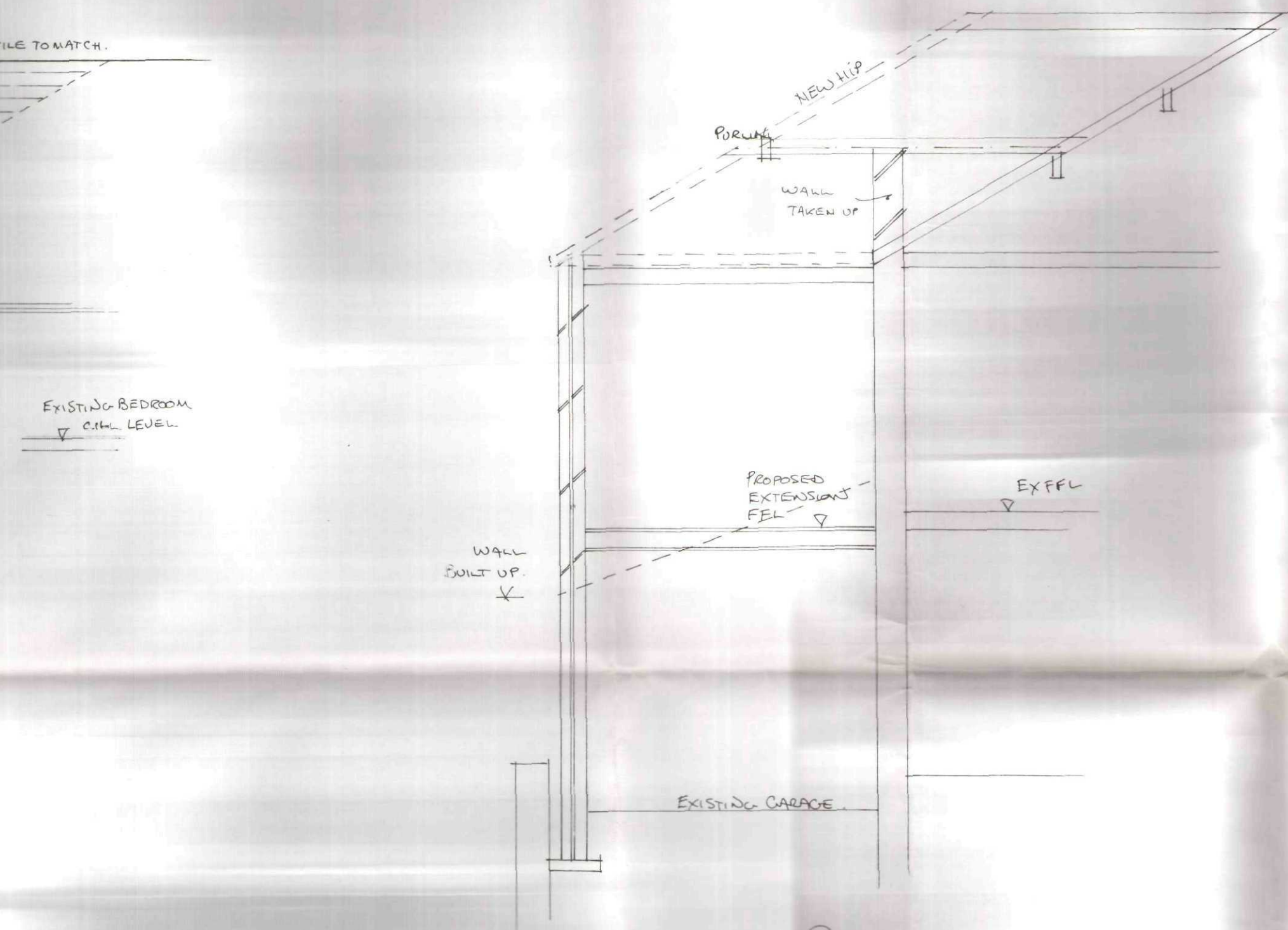
IAN C. STEVENSON
BUILDING CONSULTANT,
THE MISTAL
HILLTOP FARM
PENISTONE ROAD
SHELLEY
HUDDERSFIELD
TEL : 01484 608900

SCALE: 1850
DATE: OCTOBER 2001

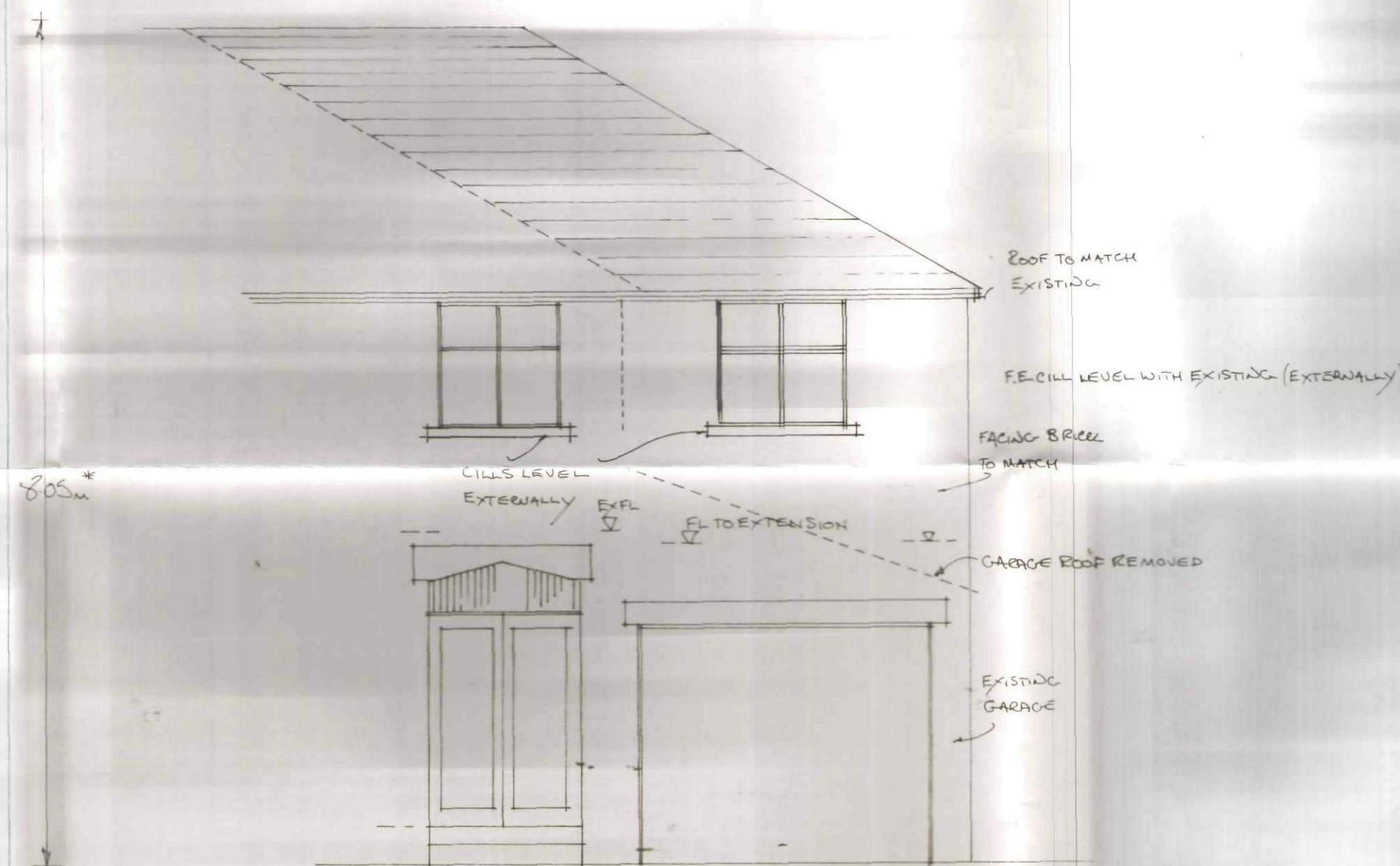
DRAWING NO: 01/56



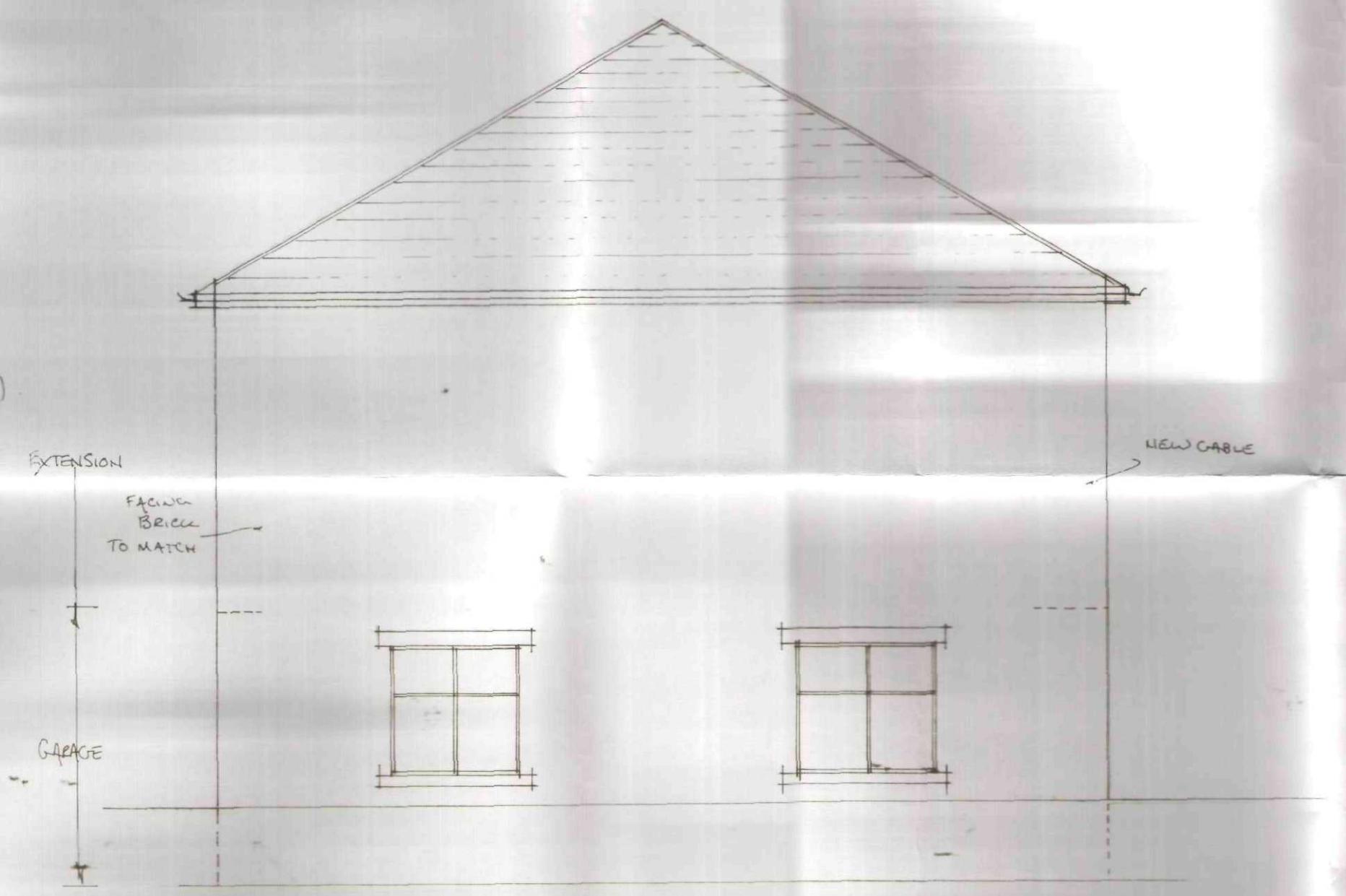
REAR ELEVATION



SECTION



FRONT ELEVATIONS



SIDE ELEVATION

